

WEIGAND

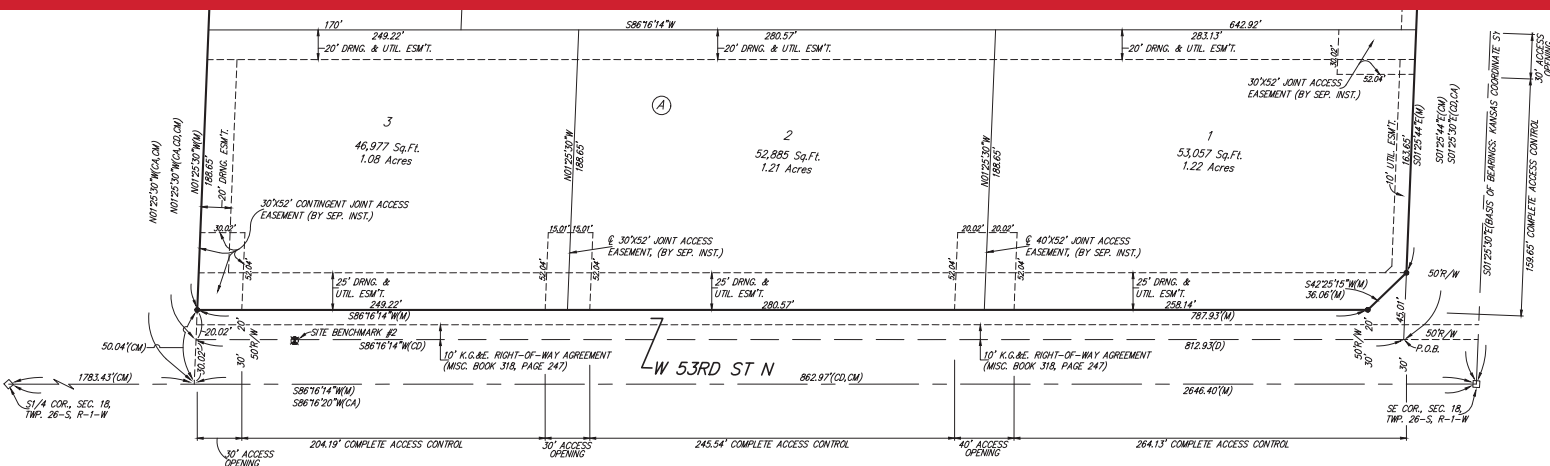
AUCTION

PROPERTY INFORMATION

5401 N Maize Rd. Maize, KS



Unique Development Opportunity in Maize KS



LOT SIZES:

Lot 3: 46,977± SF
Lot 2: 52,885± SF
Lot 1: 53,057± SF

2024 TAXES:

Lot 3: \$0.042
Lot 2: \$133.34
Lot 1: \$3,978.88

ABOUT THE LOCATION

- Hard corner lot in the Northwest Gateway to the Wichita Metro
- Direct access to K-96 (26,000+ daily vehicles)
- Record-breaking building permits in the area (3,400 home sites platted since 2020)
- Platted for commercial use with driveway approvals
- 4.4% avaral annual growth in Maize Kansas
- Regional commercial hub for commuters from NW Kansas



Kevin Howell | Auctioneer
620-229-3590 | khowell@weigand.com



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AUCTION PROCEDURES: Auction is subject to seller's confirmation. Online bidding is by approval only. Bidding will remain open until three (3) minutes have passed without receiving an acceptable bid. J.P. Weigand & Sons, Inc. Auction reserves the right to request a proof of funds letter from a bank to participate in online bidding.

BUYERS PREMIUMS: A buyer's premium of ten percent (10%) of the final bid will be added to the final bid price to determine the total purchase price.

AUCTION TERMS: The successful bidder shall be required to make a deposit in an amount equal to ten percent (10%) of the total purchase price as earnest money in the form of Certified or Personal Check with proper identification within twenty-four (24) hours of close of auction. Closing will take place on or before thirty (30) days following the day of auction. Possession is subject to tenant rights.

IMPORTANT NOTICE TO ALL BIDDERS: All the information contained in this brochure was obtained from sources believed to be correct but is not guaranteed. This property will be sold "as is, where is" and bidders shall only rely on their own information, judgment, and inspection of the property and records. This property will be sold subject to any applicable Federal, State, and/or Local Government Regulations. Property is subject to sale prior to the completion of the auction.

BROKER PARTICIPATION: At the completion of a successful closing, a fee of three percent (3%) of the buyer's premium will be paid by J.P. Weigand & Sons, Inc. to the broker properly registering and representing the successful bidder. Please visit WeigandAuctions.com/terms for a detailed explanation of Terms and Conditions.



Kevin Howell | Auctioneer
620-229-3590 | khowell@weigand.com

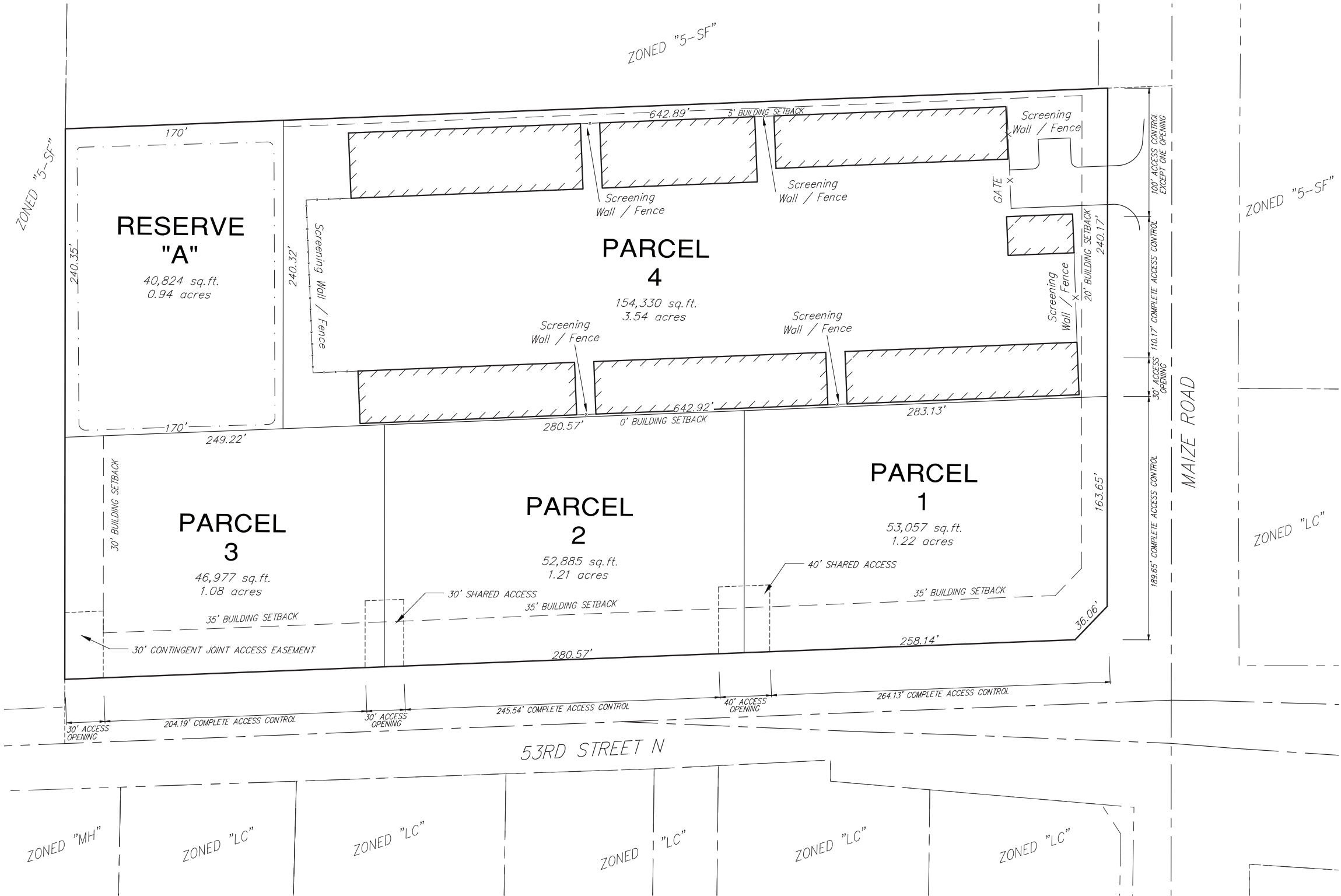




Sedgwick County...

A horizontal number line with tick marks at 0, 0.01, and 0.02. The unit "mi" is written above the line.

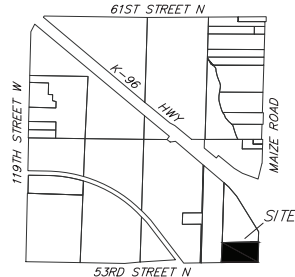
DEXTER COMMERCIAL CORNER
COMMUNITY UNIT PLAN
CUP-02



GENERAL PROVISIONS:

1. Total Net Land Area: 348,074 ± sq.ft.
or 7.99 ± acres
2. Drainage will be handled in the manner as approved with the final plat.
3. Setbacks are as indicated on the C.U.P. drawing, or as specified in the parcel descriptions. If contiguous parcels are to be developed under the same ownership, setbacks between those parcels shall not be required.
4. Parking shall be provided in accordance with the City of Maize Zoning Code, unless otherwise specified in the parcel description.
5. Signs will be as allowed by the City of Maize Sign Code. No billboards or off-site signs shall be permitted.
6. Lighting shall be directed downward so as to confine concentration of lights on the premises and not onto adjacent property. All parcels shall share similar or consistent parking lot lighting elements (i.e., fixtures, poles, and lamps, etc.). The height of light poles, including fixtures, lamps and base, shall be limited to 24 feet.
7. Development of all parcels within the C.U.P. shall comply with the landscaping requirements of the City of Maize Landscape Code, or as modified by General Provision 8 below, with a shared palette of landscape materials among parcels. A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit. A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
8. Screening shall be per the standards of the City of Maize Zoning Code, except as follows:
 - A. In lieu of a masonry screening wall, along the north and west property lines where existing vegetation may be used to meet the condition of solid screening. Where there are gaps in the existing vegetation, screening shall be provided by either a combination of evergreen and deciduous trees installed with one tree per 40 feet with the planting size of the trees meeting the requirements of the Landscape Ordinance, or by a six- to eight-foot tall solid screening fence. Along the west property line of Parcel 1 where existing screening does not exist, landscaping shall be provided at 1.5 times the minimum ordinance requirements, shall be a combination of deciduous and evergreen landscaping, and shall have a minimum planting size for all deciduous trees no smaller than 2-inch caliper and all evergreen trees shall be a minimum of 6 feet in height.
 - B. Solid screening shall be provided within Parcels 1, 2, and 3 for all outdoor work and storage areas, parking lots and loading docks within 150 feet of residential zoning district or public street right-of-way in order to screen these areas from residential zoning districts.
 - C. The rear of structures in Parcel 4 will function as a continuous solid screen. Where there is a space between buildings, a 6- to eight- foot tall solid screening fence will be provided.
 - D. Rooftop mechanical equipment within Parcels 1, 2, 3, and 4 shall be screened from ground level view per the Zoning Code.
 - E. Trash receptacles and ground-level mechanical equipment within Parcels 1, 2, 3 and 4 shall be screened from ground-level view with screening walls constructed of materials consistent with the wall materials of the building which the trash receptacle and mechanical equipment supports.
9. No parcel within this C.U.P. shall allow the following uses: adult entertainment establishment; sexually oriented business; correctional facility; correctional placement residence (limited or general); pawnshop; night club in the city; tavern and drinking establishment; rodeo in the city; construction burn site; and asphalt plant. In addition, the following uses shall not be allowed: group residences (limited and general); recreation and entertainment (outdoor); and recreational vehicle campground. Restaurants that serve liquor can be developed and may serve liquor, as long as food is the primary service of the establishment.
10. Buildings:
 - A. All buildings within Parcel 1, 2, and 3, separately, shall share similar architectural character, color, and texture, as determined by the City of Maize. Building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accent.
 - B. All buildings within Parcel 4 may have metal facades and roofs. Building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents.
11. A plan for a pedestrian walk system for Parcels 1, 2, and 3, separately, shall be submitted and approved by the City of Maize prior to the issuance of building permits. Said walk system shall link sidewalks along 53rd Street North and Maize Road with the proposed buildings within the development.
12. All new utilities shall be installed underground.
13. Amendments, adjustments or interpretations to this C.U.P. shall be done in accordance with the City of Maize Zoning Code. Any land use requiring a Conditional Use in Limited Commercial zoning district may only be permitted by approval of a separate amendment to the C.U.P.
14. The Transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof but said plan shall run with the land and be binding upon present owners, their successors and assigns.
15. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator, shall constitute a violation of the building permit authorizing construction of the proposed development.
16. Any major changes in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.

VICINITY MAP



REVISIONS

Submitted: February 1, 2019
Revised per staff comments: March 7, 2019
Approved per Planning Commission: March 7, 2019
Approved per City Council: April 15, 2019
Amendment submitted: March 31, 2022
Amendment submitted: November 22, 2022

LEGAL DESCRIPTION:

A tract of land in the Southeast Quarter of Section 18, Township 26 South, Range 1 West of the 6th P.M., Sedgwick County, Kansas, described as follows: Beginning 30 feet North and 50 feet West of the Southeast corner of said Southeast Quarter; thence West a distance of 812.93 feet along the North right-of-way line of 53rd Street North; thence North a distance of 449.02 feet to the Southwest corner of Lot 1, Ark Church Addition, Maize, Sedgwick County, Kansas; thence East along the South line of said Lot 1 a distance of 812.93 feet to a point on the West right-of-way line of Maize Road; thence south along the West right-of-way line of Maize Road to the point of beginning.

PARCEL 1

A. Net Area: 53,057 sq.ft. or 1.22 acres
B. Maximum Building Coverage: 15,917 sq.ft. or 30 percent (Commercial Uses)
C. Maximum Gross Floor Area: 18,510 sq.ft. or 35 percent (Commercial Uses)
D. Maximum building height: 40 feet.
E. Setbacks: See Drawing
F. Access Points: See Drawing
G. Permitted Uses: All permitted uses in the "LC" Limited Commercial zoning district of the City of Maize Zoning Code, plus Vehicle Storage Yard and Outdoor Storage, except for those uses listed under General Provision #2.

PARCEL 2

A. Net Area: 52,885 sq.ft. or 1.21 acres
B. Maximum Building Coverage: 15,866 sq.ft. or 30 percent (Commercial Uses)
C. Maximum Gross Floor Area: 18,510 sq.ft. or 35 percent (Commercial Uses)
D. Maximum building height: 40 feet.
E. Setbacks: See Drawing
F. Access Points: See Drawing
G. Permitted Uses: All permitted uses in the "LC" Limited Commercial zoning district of the City of Maize Zoning Code, plus Vehicle Storage Yard and Outdoor Storage, except for those uses listed under General Provision #2.

PARCEL 3

A. Net Area: 46,977 sq.ft. or 1.08 acres
B. Maximum Building Coverage: 14,093 sq.ft. or 30 percent (Commercial Uses)
C. Maximum Gross Floor Area: 16,442 sq.ft. or 35 percent (Commercial Uses)
D. Maximum building height: 40 feet.
E. Setbacks: See Drawing
F. Access Points: See Drawing
G. Permitted Uses: All permitted uses in the "LC" Limited Commercial zoning district of the City of Maize Zoning Code, plus Vehicle Storage Yard and Outdoor Storage, except for those uses listed under General Provision #2.

PARCEL 4

A. Net Area: 154,330 sq.ft. or 3.54 acres
B. Maximum Building Coverage: 46,299 sq.ft. or 30 percent (Commercial Uses)
C. Maximum Gross Floor Area: 54,016 sq.ft. or 35 percent (Commercial Uses)
D. Maximum building height: 40 feet.
E. Setbacks: See Drawing
F. Access Points: See Drawing
G. Permitted Uses: All permitted uses in the "LC" Limited Commercial zoning district of the City of Maize Zoning Code, plus Vehicle Storage Yard and Outdoor Storage, except for those uses listed under General Provision #2.

CUP-02

DEXTER
COMMERCIAL CORNER
COMMUNITY UNIT PLAN



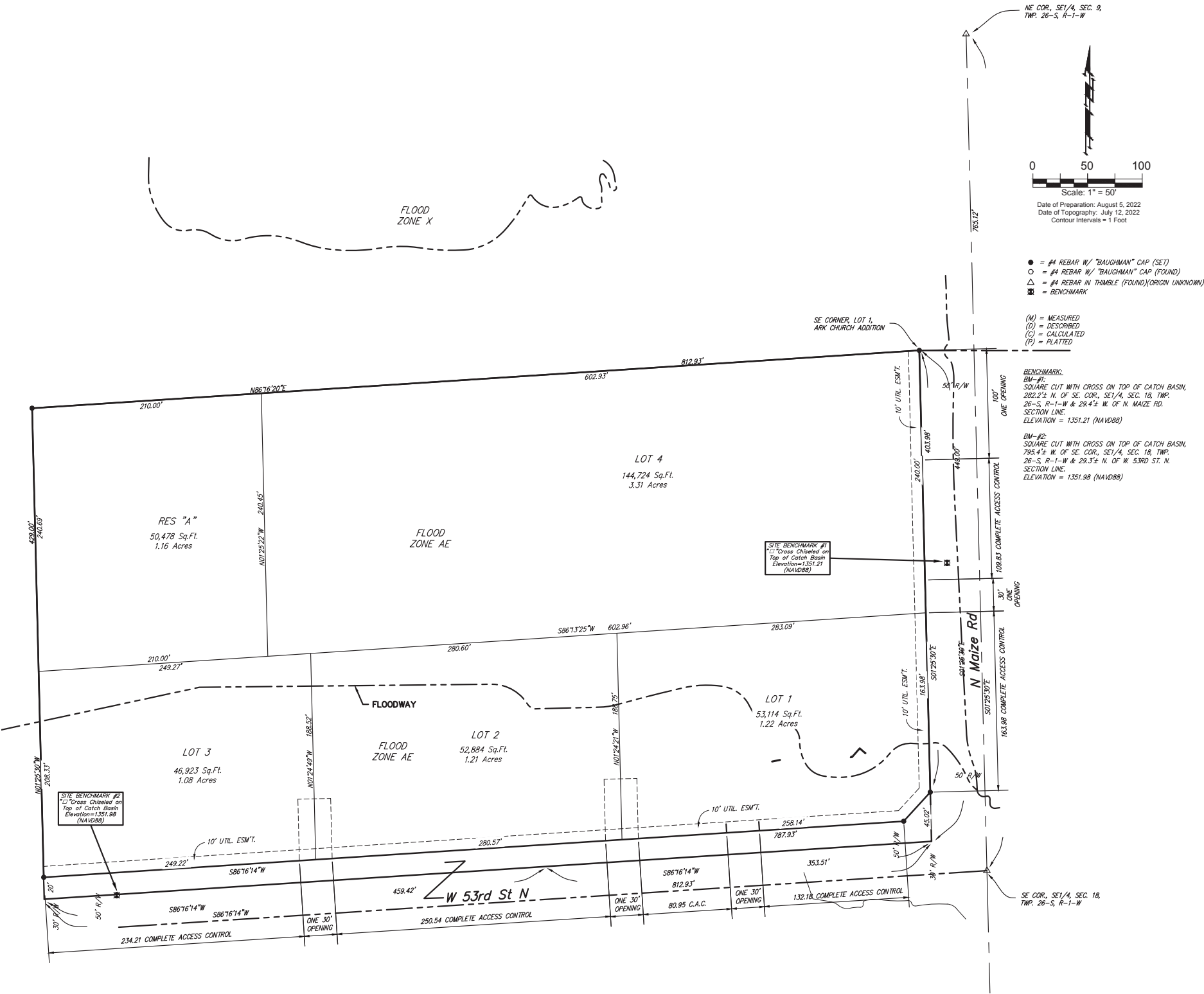
BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com



SCALE: 1" = 40'

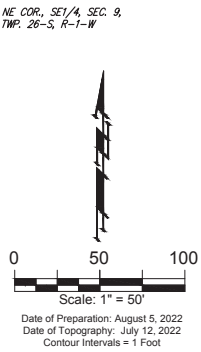
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FINAL PLAT
DEXTER COMMERCIAL CORNER
MAIZE, SEDGWICK COUNTY, KANSAS



NOTE:
A drainage plan has been developed for this subdivision and is on file with the City of Maize, Kansas. Drainage intent shall remain as depicted or as modified with the approval of the City Engineer of the City of Maize, Kansas. No obstructions which impede the flow of this drainage plan shall be allowed.

NOTE:
Additional Building Setback Requirements and Restrictions per Dexter Commercial Corner Community Unit Plan are at City Hall of Maize.



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- △ = #4 REBAR IN THIMBLE (FOUND)(ORIGIN UNKNOWN)
- ⊠ = BENCHMARK

- (M) = MEASURED
- (D) = DESCRIBED
- (C) = CALCULATED
- (P) = PLATTED

BENCHMARK:
BM-#1:
SQUARE CUT WITH CROSS ON TOP OF CATCH BASIN,
262.2± N. OF SE. COR., SE1/4, SEC. 18, TWP.
26-S, R-1-W & 29.4± W. OF N. MAIZE RD.
SECTION LINE.
ELEVATION = 1351.21 (NAVD88)

BM-#2:
SQUARE CUT WITH CROSS ON TOP OF CATCH BASIN,
795.4± W. OF SE. COR., SE1/4, SEC. 18, TWP.
26-S, R-1-W & 29.3± N. OF W. 53RD ST. N.
SECTION LINE.
ELEVATION = 1351.98 (NAVD88)

State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) do hereby certify that we have surveyed and
plotted "DEXTER COMMERCIAL CORNER", Maize, Sedgwick County, Kansas
and that the accompanying plat is a true and correct exhibit of the
property surveyed, a tract of land in the Southeast Quarter of Section 18,
Township 26, South, Range 1 West of the 6th p.m., Sedgwick County,
Kansas, described as follows: Beginning 30 feet North and 50 feet West of the
Southeast corner of said Southeast Quarter; thence West a distance of 812.93
feet along the North Right-Of-Way line of 53rd Street North; thence North a
distance of 449.02 feet to the Southwest corner of Lot 1, Ark Church Addition,
Maize, Sedgwick County, Kansas; thence East along the South line of said Lot 1
a distance of 812.93 feet to a point on the West Right-Of-Way line of Maize
Road; thence South along the West Right-Of-Way line of Maize Road to the
point of beginning.

Existing public easements, dedications, building
setbacks, and access controls, if any, being
vacated by virtue of K.S.A. 12-512b, as amended.
Baughman Company, P.A.

Jonathan C. Hubbell, Surveyor

Know all men by these presents that we,
the undersigned, have caused the land in the surveyors certificate to be
plotted into Lots, a Block, a Street, and a Reserve to be known as
"DEXTER COMMERCIAL CORNER", Maize, Sedgwick County, Kansas. The
utility easements are hereby granted as indicated for the construction and
maintenance of all public utilities. The drainage easement is hereby
granted as indicated for drainage purposes. The street is hereby
dedicated to and for the use of the public. Reserve "A" is hereby
reserved for drainage, landscaping, open space and utilities as confined to
easement. Reserve "A" shall be owned and maintained by the current
owner of Lot 4, DEXTER COMMERCIAL CORNER for the addition and/or any
successors, heirs, or assigns. Access controls shall be as depicted on the
face of the plat and are hereby granted to the City of Maize, Kansas. The
Minimum Building Pad Elevations for the lowest opening to the structures
shall be as indicated on the face of the plat.

KTD Management, LLC,
a Kansas limited liability company

Katie Dexter, Manager

State of Kansas) SS The foregoing instrument acknowledged before
Sedgwick County) me, this day of , 2022, by Katie Dexter, Manager
of KTD Management, LLC, a Kansas limited liability company, on behalf of
the limited liability company.

Notary Public

My App't. Exp.

We, the undersigned, holders of a mortgage on the
above described property, do hereby consent to this plat of "DEXTER COMMERCIAL
CORNER", Maize, Sedgwick County, Kansas.
The Halstead Bank

State of Kansas) SS The foregoing instrument acknowledged be-
Sedgwick County) fore me, this day of , 2022, by
of The Halstead Bank, on behalf of the bank.

Notary Public

My App't. Exp.

This plat of "DEXTER COMMERCIAL CORNER",
Maize, Sedgwick County, Kansas has been submitted to and approved by
the Maize City Planning Commission, Maize, Kansas.

Dated this day of , 2022.
Maize City Planning Commission

Bryen Aubuchon, Chairman

Dennis Downes, Secretary

Kim Edgington, Planning
Administrator

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Maize,
Kansas, this day of , 2022.

Pat Stivers, Mayor

Sue Villarreal, City Clerk

State of Kansas) SS This plat is approved pursuant to the pro-
City of Maize) visions of K.S.A. 12-401.

Date Signed: , 2022.

Tom Powell, City Attorney

Reviewed in accordance with K.S.A. 58-2005
on this day of , 2022.

Tricia L. Robello, P.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

Entered on transfer record this day
of , 2022.

Kelly B. Arnold, County Clerk

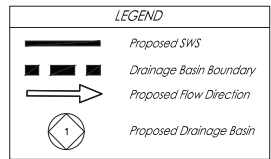
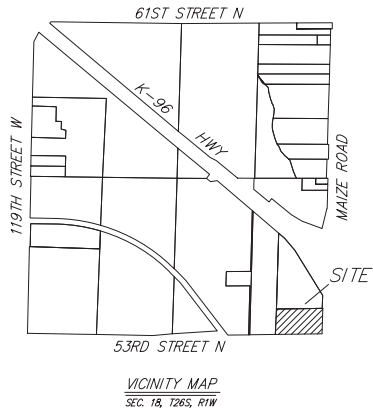
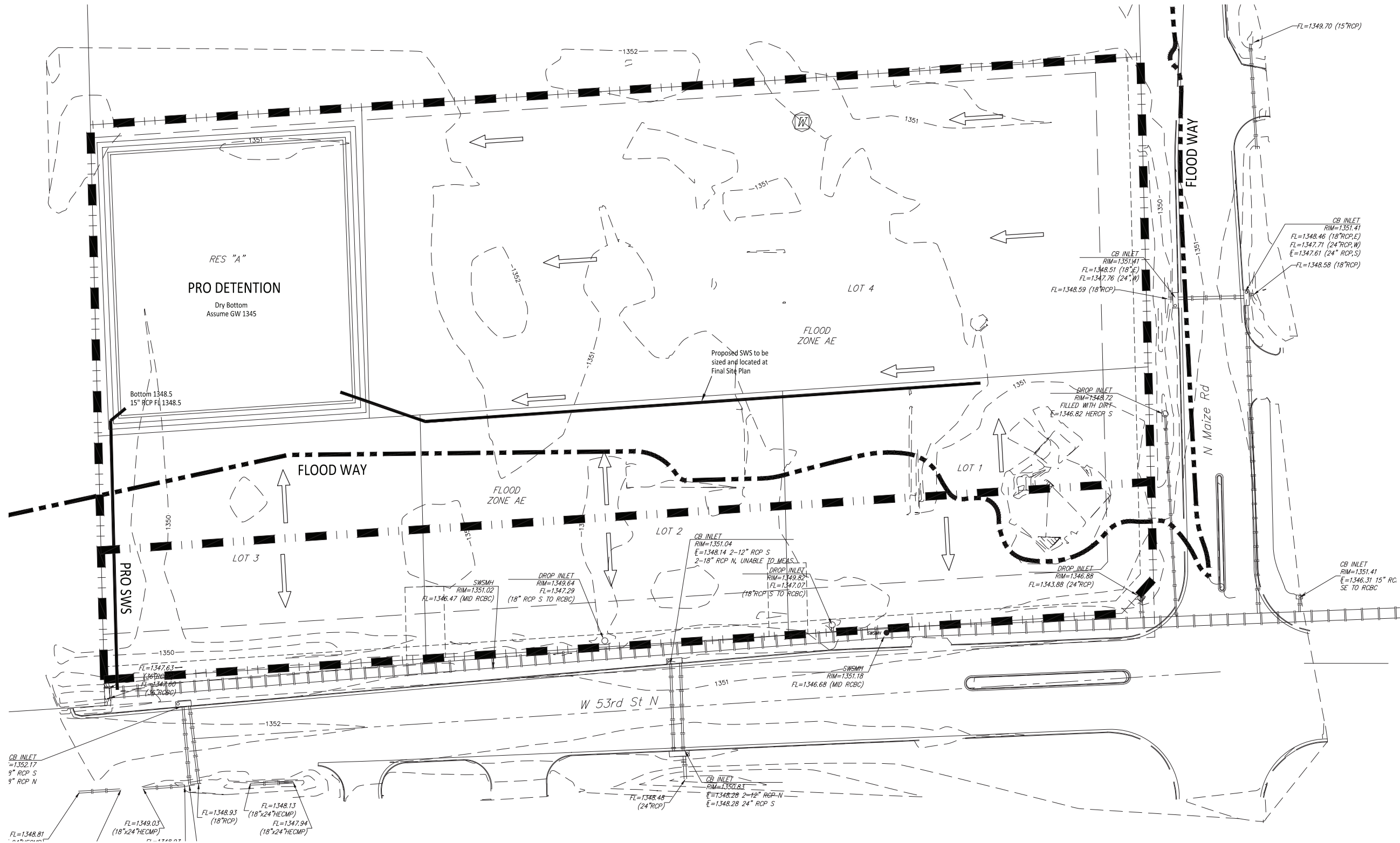
State of Kansas) SS This is to certify that this plat has been filed
Sedgwick County) for record in the Office of the Register of Deeds, this day
of , 2022 at o'clock M. and is duly recorded.

Tonya Buckingham, Register of Deeds

Kenly Zehring, Deputy

DEXTER COMMERCIAL CORNER
September 9, 2022

BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com



DETENTION
The site will detain developed runoff before entering the storm water sewer in 53rd Street. The dry detention pond will detain runoff from Lot 4 as well as the rears of Lots 1-3. The front 100' of Lots 1-3 are expected to drain undetained to 53rd Street.

FEMA
The entire site is encumbered by FEMA Floodplain and partially by FEMA Floodway, as shown. FEMA boundaries are scaled per location per FEMA FIRM Panels 187G & 189G, effective December 22, 2016.

Storm Water Sewer
Storm water sewer will be sized and final locations upon site development. We anticipate a SWS line to run along the south line of Lot 4 in order to convey developed runoff to the detention area.

Permitting
A DWR floodplain fill permit has been issued for this site to fill areas not located in the floodway. The fringe fill is authorized by LSG-0690-FR, issued July 21, 2022.

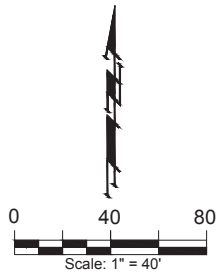
DRY DETENTION (Bottom = 1348.5)			
STAGE	INFLOW	OUTFLOW	ELEVATION
2 yr	13 cfs	1.4 cfs	1349.1
5 yr	20 cfs	2.7 cfs	1349.4
10 yr	26 cfs	3.3 cfs	1349.7
25 yr	36 cfs	4.0 cfs	1350.2
100 yr	50 cfs	5.0 cfs	1350.7

DRY DETENTION		
STAGE (elev)	TOTAL STORAGE (ac-ft)	DISCHARGE (cfs)
1348.5	0.00	0.0
1349.5	0.84	3.7
1350.5	1.74	6.6
1351.5	2.72	9.1

OUTFALL: 15" RCP at bottom (1348.5) elevation

53RD ROW DISCHARGE	
EXISTING	DEVELOPED
Area = 8.0 acres	Area = 8.0 acres
CN = 71	CN = 96
Tc = 15 min	Tc = 15 min
Q2 = 2.6 cfs	Q2 = 5.0 cfs
Q5 = 8.9 cfs	Q5 = 8.3 cfs
Q10 = 15 cfs	Q10 = 11 cfs
Q25 = 27 cfs	Q25 = 15 cfs
Q100 = 46 cfs	Q100 = 20 cfs

Developed condition values are post detention (ie pond discharges) to the 53rd Street ROW. The majority of these flows are conveyed from the detention area via a SWS pipe directly connected to the RCBC.



PRELIMINARY PLAN. NOT FOR CONSTRUCTION.
This document is preliminary in nature and is not a final, signed and sealed document.



BAUGHMAN COMPANY

315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com

Dexter Commercial Corner

Drainage Plan

PROJECT NUMBER:

DESIGN: TRK DRAWN: JLD

DATE: September 9, 2022

SHEET 1 OF 1



BAUGHMAN
COMPANY

315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com



DEXTER COMMERCIAL CORNER
MAIZE ROAD, BETWEEN 53rd & KS-96
MAIZE, KS 67101

REVISION: DATE:

PROJECT NUMBER:
22-11-E368

DESIGN: DRAWN:
DATE: 04/19/2023

EROSION
CONTROL
PLAN

C3.0

LEGAL DESCRIPTION

Lot 4 & Reserve A and part of Lots 1, 2, & 3, Block A, Dexter Commercial Corner,
Maize, Sedgwick County, Kansas.

SITE INFORMATION

Total Area: ±348,146 sq. ft. (7.99 acres)
Disturbed Area: ±210,050 sq. ft. (4.82 acres)
Impervious Area, pre-const: ±50,926 sq. ft. (1.17 acres)
Impervious Area, post-const: ±132,300 sq. ft. (3.04 acres)

BENCHMARKS

Site Benchmark - 1
SQUARE CUT WITH CROSS ON TOP OF CATCH BASIN, 282.2'± N. OF SE. COR.,
SE1/4, SEC. 18, TWP. 26-S, R-1-W & 29.4'± W. OF N. MAIZE RD. SECTION LINE.
ELEVATION = 1351.21 (NAVD88)

Site Benchmark - 2
SQUARE CUT WITH CROSS ON TOP OF CATCH BASIN, 795.4'± W. OF SE. COR.,
SE1/4, SEC. 18, TWP. 26-S, R-1-W & 29.3'± N. OF W. 53RD ST. N. SECTION LINE.
ELEVATION = 1351.98 (NAVD88)

KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at
287-2470 a minimum of three (3) working days prior to any excavation or
work adjacent to utilities.

Kansas One Call 1-800-DIG-SAFE

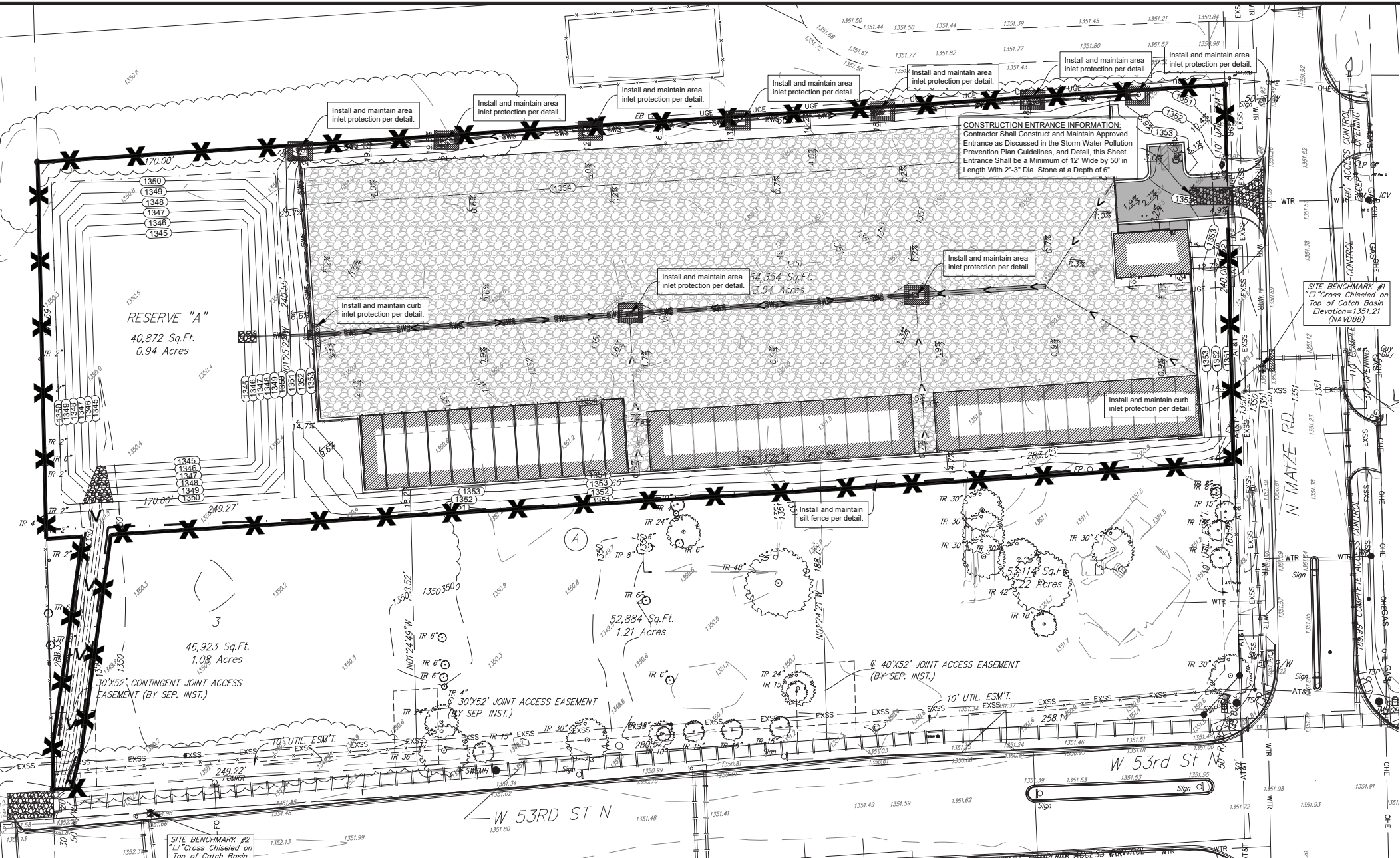
UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:

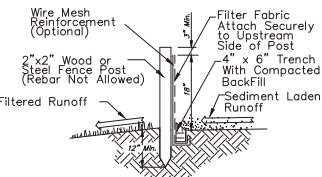
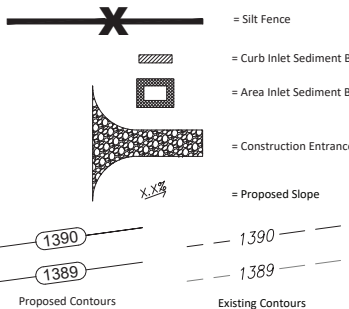
Kansas Gas Service (Gas).....1-888-482-4950
Black Hills Energy (Gas).....1-800-303-0357
Evergy (Electric).....383-8650
Cox Communications (Telecommunication).....262-4270
AT&T (Telecommunication).....268-2759
City of Wichita Water Dept. (Water).....268-4563
or 268-4908
City of Wichita Sewer Maint. (San. Sewer).....268-4024
or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
City of Wichita Traffic Maint. (Traf. Control).....268-4034
or 268-4203
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....529-6600
or 1-800-324-9696
Phillips Pipeline Co. (Petroleum).....1-800-766-8230

EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan, if applicable. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and per City and State specifications (See #11).
- All exposed areas shall be seeded as specified within 14 days of final grading. Seed is to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This Erosion Control Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- If site disturbance is over 1 acre, an NPDES Permit Application has been submitted for this property and a copy of this application must be kept at the job site for the duration of the construction process.

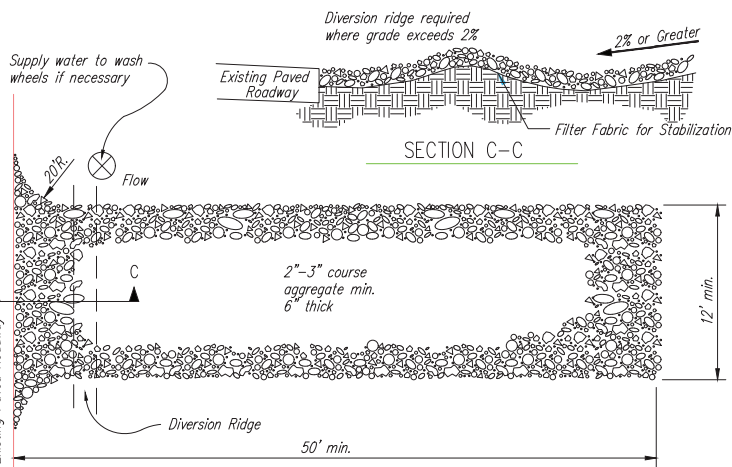


EROSION CONTROL LEGEND



1 SILT FENCE DETAIL

NOT TO SCALE



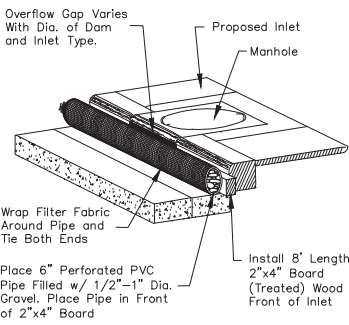
NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
- DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

2 STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

EROSION CONTROL PLAN



3 TYPE 1 INLET PROTECTION

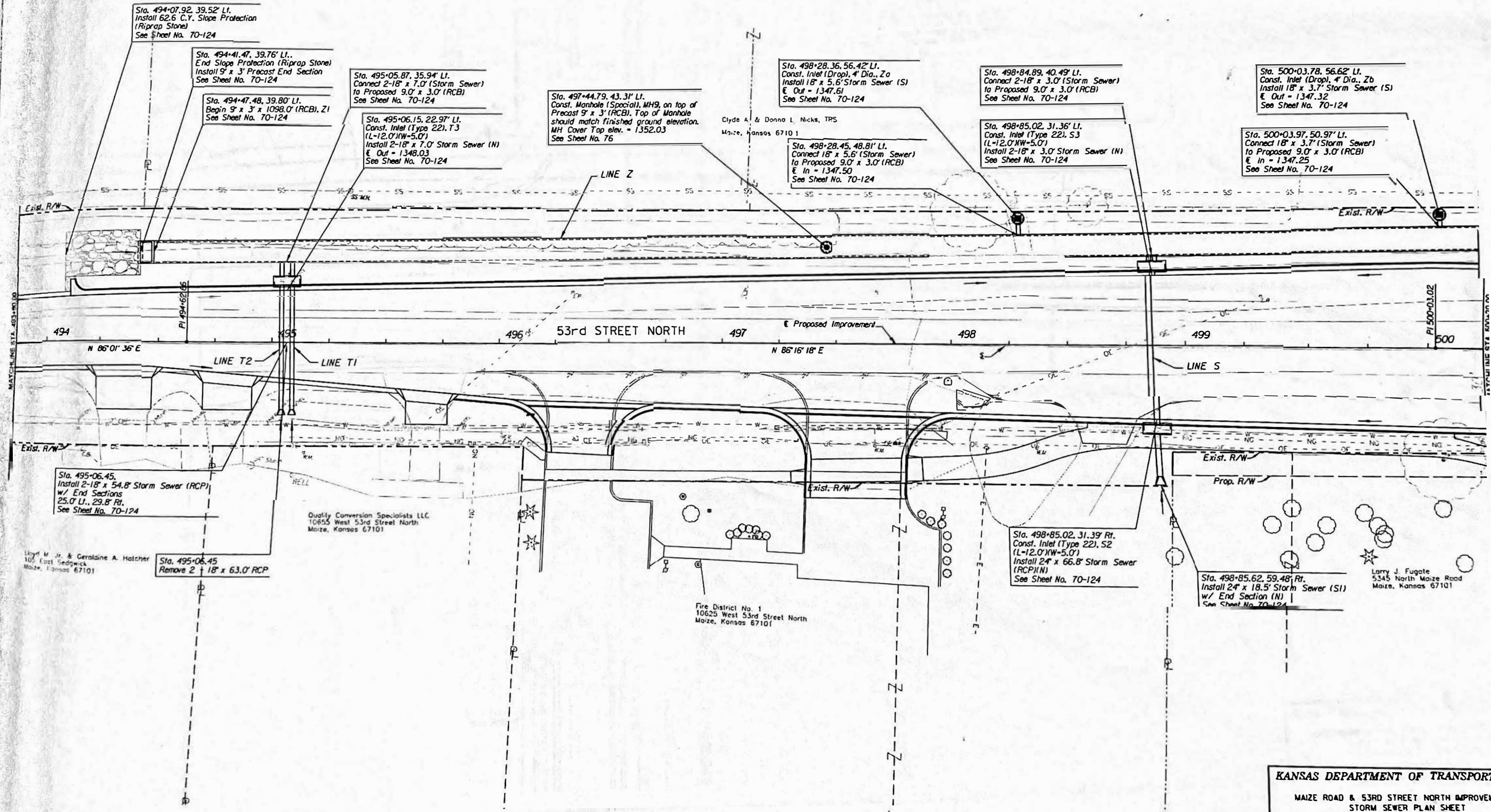
NOT TO SCALE

Sanitary Sewer Plan and Profile Sheets
for Proposed Sanitary Sewer Improvements,
See SWS 243-252

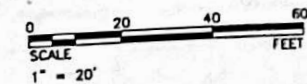
Water Line Plan and Profile Sheets for
Proposed Water Line Improvements,
See SWS 253-261

STATE	PROJECT NO.	YEAR	SHEET NO.	TOTAL SHEETS
KANSAS	87 KA-0155-01	2011	94	135

0 20 40 60
SCALE
1" = 20'
FEET



STATE	PROJECT NO.	YEAR	SHEET NO.	TOTAL SHEETS
KANSAS	87 KA-0155-01	2001	95	353



NW Corner Sec. 20-T265-R1W
Sta. 503+02.84, 7.75' LI. (E 1611959.08, N 1719718.50)
1. Found 1/2" Rebar in Concrete
2. 1" Cut on Headwall of RCB
3. 1" Cut on Headwall of RCB
4. Nail & Cap in Power Pole
51.0' NE
50.0' NW
94.8' SE

Sta. 505+41.77, 55.85' LI..
End 9' x 3' x 1098.0' (RCB), Outfall Z
Install 9' x 3' Precast End Section
See Sheet No. 70-124

Sta. 505+47.77, 56.01' LI..
Install 79.6 C.Y. Slope Protection
(Riprap Stone)
See Sheet No. 70-124

Sta. 505+90.37, 57.15' LI..
End Slope Protection (Riprap Stone)
See Sheet No. 70-124

Sta. 503+86.58, 51.70' LI..
Const. Manhole (Special), MH11, on top of
Precast 9' x 3' (RCB). Top of Manhole
should match finished ground elevation.
MH Cover Top elev. = 1351.78
See Sheet No. 76

Sta. 505+07.80, 55.04' LI..
Remove Exist. 8' x 3' x 40.3' RCB
and Concrete Wingwalls

Sta. 500+43.73, 47.81' LI..
Const. Manhole (Special), MH10, on top of
Precast 9' x 3' (RCB). Top of Manhole
should match finished ground elevation.
MH Cover Top elev. = 1351.26
See Sheet No. 76

Sta. 501+81.78, 52.50' LI..
Construct P.I. in 9' x 3' (RCB)

Sta. 500+83.95, 43.03' LI..
Remove Exist. 8' x 3' x 24.4' RCB
and Concrete Wingwalls

Larry J. Fugate
3345 North Maize Road
Maize, Kansas 67101

KANSAS DEPARTMENT OF TRANSPORTATION
MAIZE ROAD & 53RD STREET NORTH IMPROVEMENTS
53RD STREET NORTH PLAN SHEET
STA. 500+20.00 TO STA. 506+60.00
CITY OF MAIZE

STATE	PROJECT NO.	YEAR	SHEET NO.	TOTAL SHEETS
KANSAS	87 KA-0155-01	2011	105	353

Match Line to Previous Sheet
Sta. 48+44.79, 43.31' LT.
9' x 3' RCB
DEC 9' x 3' RCB
Sta. 49+44.79, 43.31' LT.

LINE Z

M49
Manhole (Special)
Sta. 49+44.79, 43.31' LT.
Top = 1352.03

Existing Ground Line

Line T2
E In = 1348.02
E In = 1347.82
E In = 1347.83

Line T1
E In = 1348.02

Za
E In = 1347.50

Line S
E In = 1348.26

Line S
E In = 1348.26

Zb
E In = 1347.25

735.63 L.F.
9' x 3' RCB
@0.17%

LINE Z

M410
Manhole (Special)
Sta. 50+44.79, 47.81' LT.
Top = 1351.26

M411
Manhole (Special)
Sta. 50+44.79, 47.81' LT.
Top = 1351.26

M411
Manhole (Special)
Sta. 50+44.79, 47.81' LT.
Top = 1351.26

M412
Manhole (Special)
Sta. 50+44.79, 47.81' LT.
Top = 1351.26

MATCH LINE TO THIS SHEET

MATCH LINE TO THIS SHEET

E In = 1346.55

Zc
E In = 1346.95

Line RRI
E In = 1346.69
Line P
E In = 1346.70

Line P
E In = 1346.70

Line Zc
E In = 1346.50

E Out = 1345.93

E Out = 1345.92

Existing 10" Waterline

Proposed 18" Sanitary Sewer

Existing 15" Sanitary Sewer

Existing Ground Line

362.37 L.F.
9' x 3' RCB
@0.17%

KANSAS DEPARTMENT OF TRANSPORTATION

STORM DRAINAGE PROFILES
MAIZE RD. & 53RD ST. NORTH IMPROVEMENTS

CITY OF MAIZE



Community & Property Fact Sheet

City of Maize, Kansas – A Growing Hub for Development

Location & Growth Potential

- Maize: The NW Gateway to the Wichita Metro
- One of the Fastest-growing cities in Kansas for the past 4 years (4.4% average annual growth)
- Record-breaking building permits & 3,400+ home sites platted since 2020
- High-income community – Median household income: \$121,200 (2024)
- Unmatched Accessibility:
 - Direct access to K-96 (26,000+ daily vehicles)
 - Located alongside one of Sedgwick County's busiest retail corridors
 - Regional commercial hub for commuters from NW Kansas

Maize's Vision for Growth & Development

Maize is strategically positioned to benefit from Wichita's outward expansion, making it an ideal location for commercial, residential, and industrial investment.

City Growth Priorities:

- High-quality commercial and mixed-use development
- Retail & service amenities to support rapid residential expansion
- New convenience, gas, and retail businesses along K-96 & major intersections
- City Vision oriented around commercial and retail development along K-96 with a strategic focus on the land between Maize Road and 119th Street and between 53rd Street and K-96
-

Recent Major Developments:

- Charlotte Pipe & Foundry (Opening 2025) – 24-hour Midwest production facility. Part of thriving expanding industrial park one mile to the West of the intersection of Maize Rd. and 53rd Street.
- 119-acre Development nearby. Planned mixed-use retail, entertainment, and residential is immediately adjacent to property at the Maize Road and 53rd Street Intersection.

Addressing Floodplain & Development Challenges

As Maize continues to grow, the City is actively working to mitigate floodplain and floodway issues to ensure more properties are fully developable and investment ready.

The City has interest in addressing Floodplain Mitigation by:

- Partnering with developers and engineers to minimize floodplain restrictions and impacts north of 53rd Street.
 - Investing in stormwater infrastructure to open more land for development.
 - Supporting site-specific drainage solutions to increase commercial viability.
 - Exploring regional floodplain mitigation strategies for long-term planning.
 - The City is committed to working with property owners and developers to make key areas development ready.
-

Commercial & Residential Growth Opportunities

Key Development Highlights:

- High-visibility commercial sites along major transportation corridors
- Zoning supports mixed-use, commercial and retail development.
- Underserved convenience & gas market – Strong potential for service-based businesses
- Growing demand for retail, hospitality, and professional services

Retail & service expansion opportunities exist to support residents, commuters, and industrial workforce growth.

Economic & Infrastructure Highlights

- 26,000+ daily commuters and increasing using K-96 corridor
 - 6.5M unique highway users annually
 - Expanding Industrial Zone – Increasing demand for fuel, dining, and retail services
 - Maize School District: A major driver of residential growth
 - 800+ teachers & staff. 7,800 students.
 - 2 high schools, 2 middle schools – a Top-ranked District in Kansas
-

Why Invest in Maize?

- Fastest-growing community in Kansas – Suburb of choice for families & businesses.
- Unmatched access to regional transportation & major highways
- City leadership is pro-development – Focused on strategic growth & infrastructure
- The City is prepared to collaborate with developers and businesses to support high-quality, strategic growth.



Katie Dexter
DIBS RV and Boat Storage
5511 N. Maize Road
Maize, KS 67191

Ms. Dexter,

This letter is being written to support your efforts to develop or sell your property on 53rd Street, west of Maize Road. The City of Maize recognizes the significant potential of the properties fronting the north side of 53rd Street between Maize Road and 119th Street.

While this area offers tremendous commercial development opportunities, we are also aware of the major floodplain challenges that impact its usability. The City of Maize continues to collaborate with our floodplain partners at the State of Kansas and our engineering consultants to explore design and funding solutions to address these challenges.

Our long-term goal is to improve the viability of these properties for retail and commercial development. To that end, we are committed to pursuing a range of strategies, including collaboration with developers/owners, economic development incentives, grant seeking, and potential city financial support for a comprehensive approach.

We wish you the best in your efforts and assure you that we will continue to work with you—and any future property owners—to maximize the potential of this property for retail and commercial purposes.

Sincerely,

Nick Gregory
City Manager
City of Maize



March 12, 2025

KTD Management
ATTN: Katie Dexter
11724 W. Texas
Wichita, KS 67209

Dear Katie Dexter,

Per your request, this letter is to inform you that the property platted as Dexter Commercial Corner Addition to Maize starting at 5401 N. Maize Rd. Maize, Kansas is zoned Limited Commercial – LC. I have enclosed a copy of the zoning ordinance no. 957 to confirm. If you have further questions or concerns, feel free to reach out to me at myoung@maizeks.gov or 316.722.7561. Thank you.

Sincerely,

Mitch Young
Planning and Zoning Administrator
City of Maize, Kansas

Encl: Zoning Ordinance

ORDINANCE NO. 957**AN ORDINANCE CHANGING THE ZONING DISTRICT CLASSIFICATION OF CERTAIN PROPERTY LOCATED IN THE CITY OF MAIZE, KANSAS, UNDER THE AUTHORITY GRANTED BY THE ZONING REGULATIONS OF THE CITY AS ORIGINALLY APPROVED BY ORDINANCE NO. 548.****BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF MAIZE, KANSAS:**

SECTION 1. After proper notice having been given and hearing held as provided by law and under authority and subject to the provisions of the Zoning Regulations of the City as originally approved by Ordinance No. 548, the Maize City Planning Commission recommends approval of Case No. Z-02-019, and, that the zoning district classification of the property legally described herein be changed as follows:

Change of zoning district classification from the SF-5 Single-Family Residential District to LC Limited Commercial Zoning District.

Legal Description: A tract of land in the Southeast Quarter of Section 18, Township 26 South, Range 1 West of the 6th P.M., Sedgwick County, Kansas, described as follows: Beginning 30 feet North and 50 feet West of the Southeast corner of said Southeast Quarter; thence West a distance of 812.93 feet along the North right-of-way line of 53rd Street North; thence North a distance of 449.02 feet to the Southwest corner of Lot 1, Ark Church Addition, Maize, Sedgwick County, Kansas; thence East along the South line of said Lot 1 a distance of 812.93 feet to a point on the West right-of-way line of Maize Road; thence south along the West right-of-way line of Maize Road to the point of beginning.

General Location: 5401 N Maize Road, Maize, Kansas

SECTION 2. Upon the taking effect of this ordinance, the above zoning change shall be entered and shown on the Official Zoning Map(s) as previously adopted by reference and said Map(s) is (are) hereby reincorporated as a part of the Zoning Regulations as amended.

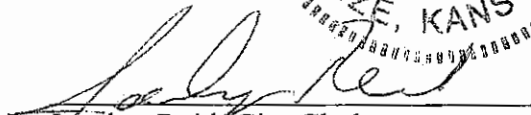
SECTION 3. This zone change shall be subject to the provisions of Community Unit Plan CUP-02 as recorded with the Sedgwick County Register of Deeds Office

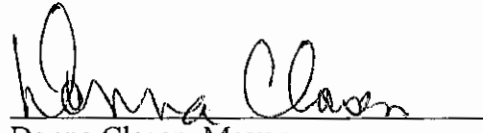
SECTION 4. This Ordinance shall take effect and be in force from and after its passage, approval and publication once in the official city newspaper.

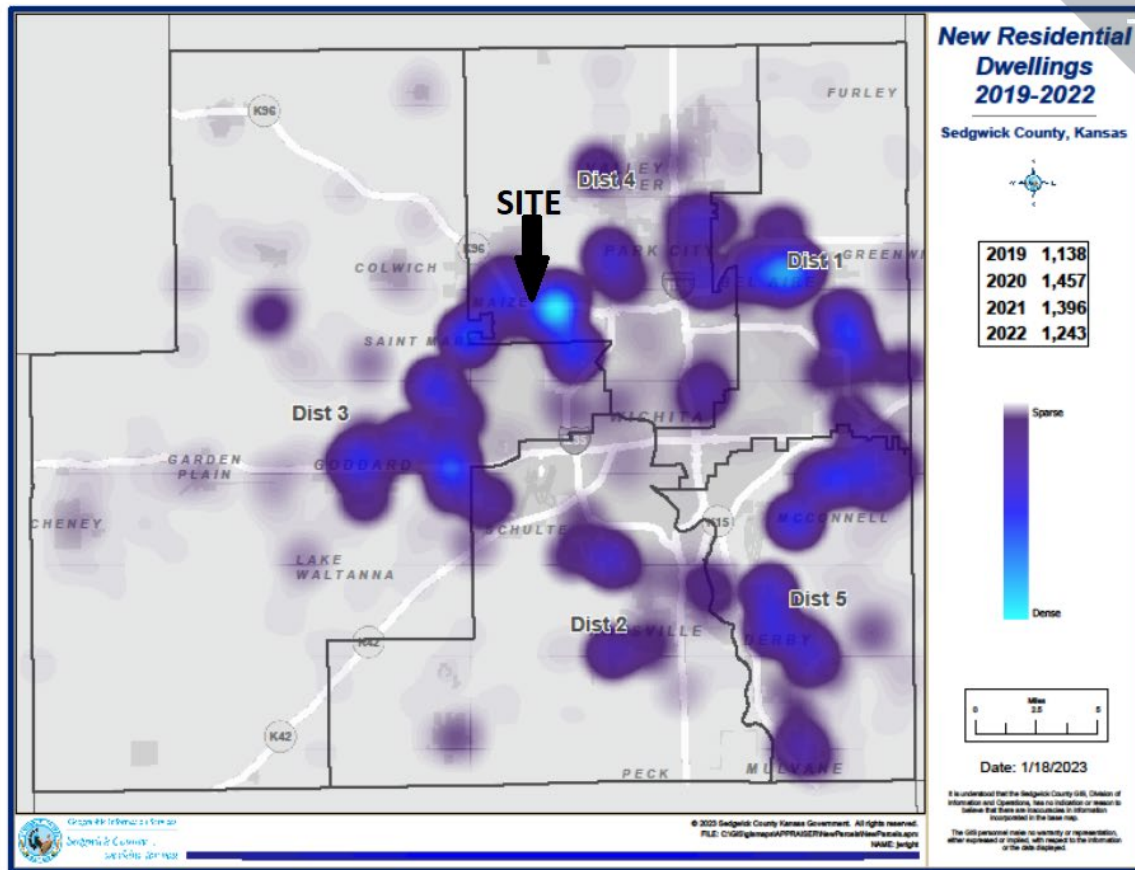
PASSED by the City Council and APPROVED by the Mayor on this 15th day of April, 2019.

(SEAL)

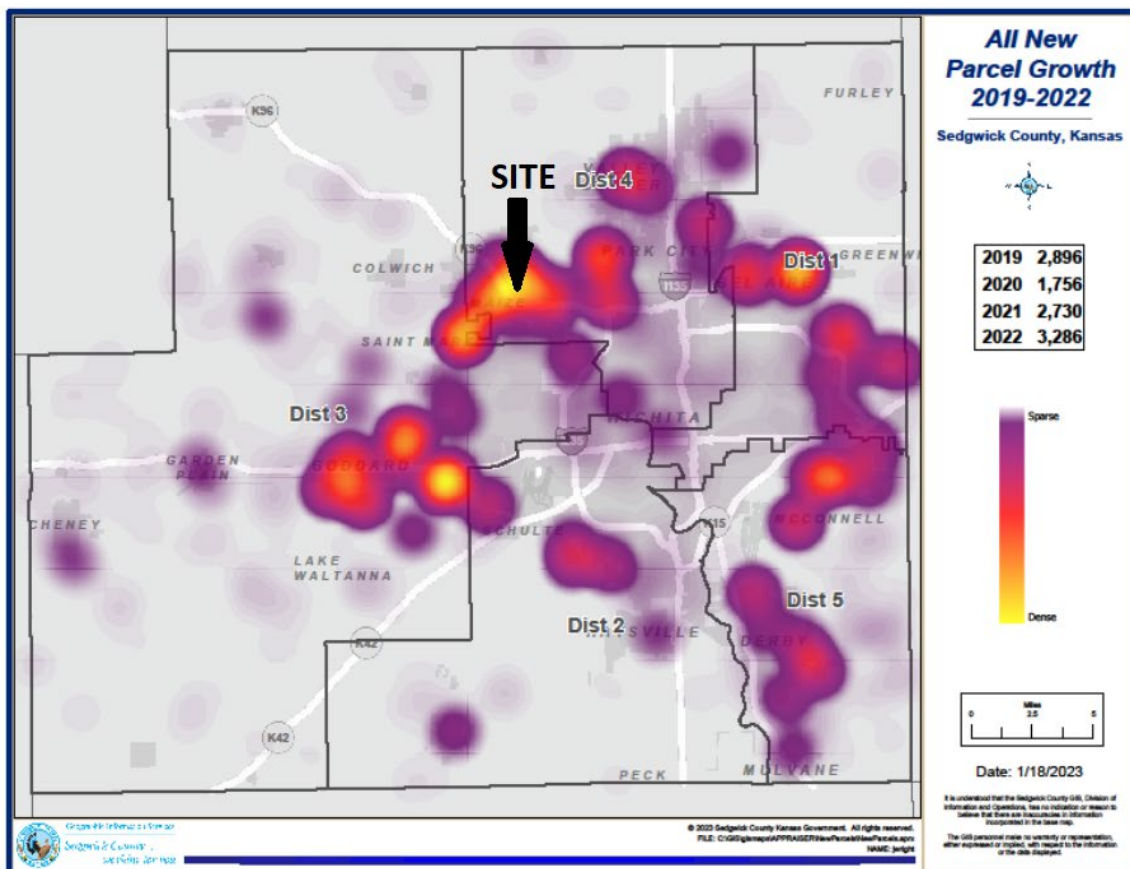



Jocelyn Reid, City Clerk


Donna Clasen, Mayor



11



6



Full Profile

2010-2020 Census, 2024 Estimates with 2029 Projections
Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 37.7813/-97.4636

5401 N Maize Rd Maize, KS 67101	1 mi radius	3 mi radius	5 mi radius
Population			
2024 Estimated Population	2,889	14,214	46,149
2029 Projected Population	3,170	16,102	49,137
2020 Census Population	2,710	12,912	46,116
2010 Census Population	2,096	8,081	38,678
Projected Annual Growth 2024 to 2029	1.9%	2.7%	1.3%
Historical Annual Growth 2010 to 2024	2.7%	5.4%	1.4%
Households			
2024 Estimated Households	1,053	5,225	17,257
2029 Projected Households	1,171	6,017	18,640
2020 Census Households	998	4,423	16,304
2010 Census Households	737	2,725	13,442
Projected Annual Growth 2024 to 2029	2.2%	3.0%	1.6%
Historical Annual Growth 2010 to 2024	3.1%	6.6%	2.0%
Age			
2024 Est. Population Under 10 Years	15.2%	14.4%	12.7%
2024 Est. Population 10 to 19 Years	19.0%	16.7%	15.6%
2024 Est. Population 20 to 29 Years	11.3%	10.6%	9.8%
2024 Est. Population 30 to 44 Years	20.8%	21.3%	19.3%
2024 Est. Population 45 to 59 Years	15.1%	17.2%	18.1%
2024 Est. Population 60 to 74 Years	12.6%	13.2%	17.4%
2024 Est. Population 75 Years or Over	6.1%	6.5%	7.1%
2024 Est. Median Age	32.5	35.4	38.9
Marital Status & Gender			
2024 Est. Male Population	49.9%	49.7%	49.8%
2024 Est. Female Population	50.1%	50.3%	50.2%
2024 Est. Never Married	42.0%	27.0%	26.3%
2024 Est. Now Married	40.7%	58.2%	60.2%
2024 Est. Separated or Divorced	15.7%	12.6%	10.2%
2024 Est. Widowed	1.5%	2.3%	3.4%
Income			
2024 Est. HH Income \$200,000 or More	2.5%	12.8%	13.3%
2024 Est. HH Income \$150,000 to \$199,999	10.8%	15.1%	16.0%
2024 Est. HH Income \$100,000 to \$149,999	23.8%	25.4%	20.1%
2024 Est. HH Income \$75,000 to \$99,999	12.9%	12.6%	14.6%
2024 Est. HH Income \$50,000 to \$74,999	14.2%	12.5%	15.9%
2024 Est. HH Income \$35,000 to \$49,999	19.9%	8.7%	7.3%
2024 Est. HH Income \$25,000 to \$34,999	7.2%	4.3%	5.1%
2024 Est. HH Income \$15,000 to \$24,999	5.7%	4.7%	3.4%
2024 Est. HH Income Under \$15,000	3.0%	4.0%	4.3%
2024 Est. Average Household Income	\$92,122	\$131,180	\$128,090
2024 Est. Median Household Income	\$79,875	\$106,055	\$101,860
2024 Est. Per Capita Income	\$33,596	\$48,352	\$47,983
2024 Est. Total Businesses	84	261	1,119
2024 Est. Total Employees	746	3,686	15,793

Full Profile

2010-2020 Census, 2024 Estimates with 2029 Projections
Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 37.7813/-97.4636

5401 N Maize Rd Maize, KS 67101	1 mi radius	3 mi radius	5 mi radius
Race			
2024 Est. White	83.0%	83.8%	84.1%
2024 Est. Black	4.1%	3.2%	2.7%
2024 Est. Asian or Pacific Islander	1.7%	3.4%	3.5%
2024 Est. American Indian or Alaska Native	1.0%	0.7%	0.6%
2024 Est. Other Races	10.2%	8.9%	9.0%
Hispanic			
2024 Est. Hispanic Population	359	1,534	4,909
2024 Est. Hispanic Population	12.4%	10.8%	10.6%
2029 Proj. Hispanic Population	14.2%	12.9%	12.7%
2020 Hispanic Population	14.4%	14.8%	10.9%
Education (Adults 25 & Older)			
2024 Est. Adult Population (25 Years or Over)	1,748	9,050	30,775
2024 Est. Elementary (Grade Level 0 to 8)	0.3%	0.5%	1.5%
2024 Est. Some High School (Grade Level 9 to 11)	0.4%	1.2%	2.7%
2024 Est. High School Graduate	34.2%	20.4%	21.8%
2024 Est. Some College	19.0%	21.7%	21.8%
2024 Est. Associate Degree Only	6.5%	9.3%	9.3%
2024 Est. Bachelor Degree Only	31.4%	30.3%	27.6%
2024 Est. Graduate Degree	8.2%	16.6%	15.3%
Housing			
2024 Est. Total Housing Units	1,146	5,630	18,466
2024 Est. Owner-Occupied	60.0%	63.7%	72.2%
2024 Est. Renter-Occupied	31.9%	29.1%	21.3%
2024 Est. Vacant Housing	8.1%	7.2%	6.5%
Homes Built by Year			
2024 Homes Built 2010 or later	42.8%	42.9%	22.7%
2024 Homes Built 2000 to 2009	7.4%	22.3%	20.3%
2024 Homes Built 1990 to 1999	3.3%	5.6%	15.5%
2024 Homes Built 1980 to 1989	3.2%	2.9%	13.5%
2024 Homes Built 1970 to 1979	13.9%	7.0%	8.1%
2024 Homes Built 1960 to 1969	1.4%	1.9%	3.7%
2024 Homes Built 1950 to 1959	13.2%	5.5%	5.0%
2024 Homes Built Before 1949	6.7%	4.7%	4.7%
Home Values			
2024 Home Value \$1,000,000 or More	0.2%	0.2%	0.5%
2024 Home Value \$500,000 to \$999,999	5.5%	6.2%	6.7%
2024 Home Value \$400,000 to \$499,999	8.4%	16.7%	10.3%
2024 Home Value \$300,000 to \$399,999	14.7%	26.6%	20.6%
2024 Home Value \$200,000 to \$299,999	9.9%	24.6%	32.9%
2024 Home Value \$150,000 to \$199,999	34.6%	11.5%	16.1%
2024 Home Value \$100,000 to \$149,999	11.9%	7.6%	6.0%
2024 Home Value \$50,000 to \$99,999	12.1%	5.0%	4.1%
2024 Home Value \$25,000 to \$49,999	1.9%	0.9%	0.7%
2024 Home Value Under \$25,000	0.8%	0.8%	2.2%
2024 Median Home Value	\$205,673	\$296,135	\$272,384
2024 Median Rent	\$851	\$1,001	\$962

Full Profile

2010-2020 Census, 2024 Estimates with 2029 Projections
Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 37.7813/-97.4636

5401 N Maize Rd Maize, KS 67101	1 mi radius	3 mi radius	5 mi radius
Labor Force			
2024 Est. Labor Population Age 16 Years or Over	2,089	10,607	35,678
2024 Est. Civilian Employed	59.8%	65.1%	62.8%
2024 Est. Civilian Unemployed	2.3%	2.3%	2.8%
2024 Est. in Armed Forces	0.5%	0.3%	0.2%
2024 Est. not in Labor Force	37.4%	32.4%	34.2%
2024 Labor Force Males	49.4%	49.3%	49.4%
2024 Labor Force Females	50.6%	50.7%	50.6%
Occupation			
2024 Occupation: Population Age 16 Years or Over	1,248	6,901	22,417
2024 Mgmt, Business, & Financial Operations	14.7%	23.8%	22.5%
2024 Professional, Related	38.5%	35.0%	31.5%
2024 Service	11.0%	12.4%	11.2%
2024 Sales, Office	14.2%	15.5%	18.3%
2024 Farming, Fishing, Forestry	-	-	-
2024 Construction, Extraction, Maintenance	4.8%	5.4%	5.6%
2024 Production, Transport, Material Moving	16.8%	7.8%	10.9%
2024 White Collar Workers	67.4%	74.3%	72.3%
2024 Blue Collar Workers	32.6%	25.7%	27.7%
Transportation to Work			
2024 Drive to Work Alone	77.0%	74.0%	77.7%
2024 Drive to Work in Carpool	3.2%	6.8%	7.1%
2024 Travel to Work by Public Transportation	0.2%	0.1%	0.1%
2024 Drive to Work on Motorcycle	-	-	-
2024 Walk or Bicycle to Work	5.0%	1.4%	1.4%
2024 Other Means	2.3%	1.2%	0.8%
2024 Work at Home	12.3%	16.4%	12.8%
Travel Time			
2024 Travel to Work in 14 Minutes or Less	36.2%	29.6%	29.8%
2024 Travel to Work in 15 to 29 Minutes	44.2%	48.9%	51.2%
2024 Travel to Work in 30 to 59 Minutes	18.8%	20.3%	16.5%
2024 Travel to Work in 60 Minutes or More	0.9%	1.1%	2.5%
2024 Average Travel Time to Work	19.6	19.9	19.1
Consumer Expenditure			
2024 Est. Total Household Expenditure	\$100.97 M	\$610.59 M	\$2 B
2024 Est. Apparel	\$1.93 M	\$11.32 M	\$37.08 M
2024 Est. Contributions, Tax and Retirement	\$23.23 M	\$174.84 M	\$577.89 M
2024 Est. Education	\$2.25 M	\$14.17 M	\$46.55 M
2024 Est. Entertainment	\$6 M	\$35 M	\$114.59 M
2024 Est. Food, Beverages, Tobacco	\$13.38 M	\$72.18 M	\$235.32 M
2024 Est. Health Care	\$6.97 M	\$34.52 M	\$116.42 M
2024 Est. Household Furnishings and Equipment	\$2.74 M	\$16.36 M	\$53.62 M
2024 Est. Household Operations, Shelter, Utilities	\$24.53 M	\$134.65 M	\$432.18 M
2024 Est. Miscellaneous Expenses	\$1.77 M	\$10.51 M	\$34.44 M
2024 Est. Personal Care	\$1.44 M	\$7.67 M	\$24.99 M
2024 Est. Transportation	\$16.72 M	\$99.37 M	\$330.2 M


[Home](#)

5401 N MAIZE RD MAIZE

Property Description

Property Type	Rural Res Homesite
Legal Description	LOT 1 BLOCK A DEXTER COMMERCIAL CORNER ADDITION
Property Address	5401 N MAIZE RD, MAIZE, KS 67101
Owner	KTD MANAGEMENT LLC
Mailing Address	11724 W TEXAS ST WICHITA KS 67209-4041
Geo Code	PK MA03874
PIN	30021900
AIN	084180440200500
Quick Ref ID	R944161
Tax Unit	6201 200 MAIZE U-266-PC-CFDPKMA
Land Use	1101 Single family detached dwelling
2025 Market Land Square Feet	53,143
2025 Total Acres	1.22
2025 Total Ag Acres	0.00
2025 Appraisal Value	\$235,420
2025 Assessment Value	\$27,074

Assessment Values

Year	Class	Land	Improvements	Total	Change
2025	Residential		\$3,163	\$23,911	\$27,074

Property Value Estimates

2025 Appraised Value	\$235,420
2025 Value Method	PRIOR
Override Reason	
Method	Value

Cost Estimate	\$238,690
Market Estimate	\$239,000
MRA Estimate	\$250,800
Weighted Estimate	\$234,600
Indexed Estimate	\$0

* Information on the property card is as of January 1st

Appraisal Values

Year	Class	Land	Improvements	Total	Change
2025	Residential	\$27,500	\$207,920	\$235,420	
2024	Residential	\$15,100	\$220,320	\$235,420	
2023	Residential		\$0	\$0	\$0

2024	Residential	\$1,737	\$25,337	\$27,074	+28%	2023	Residential	\$324	\$20,866	\$21,190
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2024 Tax Year Special Assessments

Project	Description	Principal	Interest	Total
2639 F	COUNTY SOLID WASTE SOLID WASTE USER FEE	\$0.00	\$0.00	\$5.00
Totals:		\$0.00	\$0.00	\$5.00

Tax Billings

Tax Year	Tax Rate	General Tax	Specials Tax	Interest	Fees	Total	Paid	Balance
2024	153.150000	\$3,973.88	\$5.00	\$0.00	\$0.00	\$3,978.88	\$1,989.44	\$1,989.44
2023	154.333000	\$3,173.62	\$5.33	\$0.00	\$0.00	\$3,178.95	\$3,178.95	\$0.00

Tax Authorities

Tax Authority	Tax Rate
0101 STATE	1.500000
0201 COUNTY	28.701000
0444 PARK TOWNSHIP	0.133000
0512 CITY OF MAIZE	43.014000
0609 USD 266	15.131000
0609 USD 266 SC	7.734000
0609 USD 266 SG	20.000000
0752 USD 266 BOND	17.235000
0809 USD 266 REC COMM	0.999000
0907 PARK-MAIZE CEMETERY	0.543000
1108 SEDG CO FIRE DISTRICT #1	17.000000
1401 SOUTH CENTRAL KANSAS LIBRARY SYS	1.160000
Total: 153.150000	


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LOT 2 BLOCK A DEXTER COMMERCIAL CORNER ADDITION

Property Description

Property Type	Ag Land with Ag Buildings
Legal Description	LOT 2 BLOCK A DEXTER COMMERCIAL CORNER ADDITION
Property Address	
Owner	KTD MANAGEMENT LLC
Mailing Address	11724 W TEXAS ST WICHITA KS 67209- 4041
Geo Code	PK MA03875
PIN	30021901
AIN	084180440200400
Quick Ref ID	R944162
Tax Unit	6201 200 MAIZE U-266-PC-CFDPKMA
Land Use	9020 Support structures for farming/ranching
2025 Market Land Square Feet	0
2025 Total Acres	1.22
2025 Total Ag Acres	1.22
2025 Appraisal Value	\$3,220
2025 Assessment Value	\$806

Assessment Values

Year	Class	Land	Improvements	Total	Change	
2025	Agricultural		\$3	\$803	\$806	-4%

Property Value Estimates

2025 Appraised Value	\$3,220
2025 Value Method	COST
Override Reason	

Method	Value
Cost Estimate	\$3,220
Market Estimate	\$0
MRA Estimate	\$0
Weighted Estimate	\$0
Indexed Estimate	\$0

Agricultural Land Characteristics

Total Ag Acres (All Types)	1.22	
Total Dry Crop Acres	0.00	
Total Irrigated Acres	0.00	
Total Native Grass Acres	1.22	
Total Tame Grass Acres	0.00	
	Use Value	Market Value
Total Ag Value (All)	\$10	\$520
Dry Crop	\$0	\$0
Irrigated	\$0	\$0
Native Grass	\$10	\$530
Tame Grass	\$0	\$0

* Information on the property card is as of January 1st

Appraisal Values

Year	Class	Land	Improvements	Total	Change
2025	Agricultural	\$10	\$3,210	\$3,220	-4%
2024	Agricultural	\$10	\$3,340	\$3,350	
2023	Agricultural		\$0	\$0	\$0

2024 Agricultural \$3 \$835 \$838 -53% 2023 Agricultural \$324 \$1,450 \$1,774

2024 Tax Year Special Assessments

Project	Description	Principal	Interest	Total
2639 F	COUNTY SOLID WASTE SOLID WASTE USER FEE	\$0.00	\$0.00	\$5.00
Totals:		\$0.00	\$0.00	\$5.00

Tax Billings

Tax Year	Tax Rate	General Tax	Specials Tax	Interest	Fees	Total	Paid	Balance
2024	153.150000	\$128.34	\$5.00	\$0.00	\$0.00	\$133.34	\$66.67	\$66.67
2023	154.333000	\$273.78	\$0.00	\$0.00	\$0.00	\$273.78	\$273.78	\$0.00

Tax Authorities

Tax Authority	Tax Rate
0101 STATE	1.500000
0201 COUNTY	28.701000
0444 PARK TOWNSHIP	0.133000
0512 CITY OF MAIZE	43.014000
0609 USD 266	15.131000
0609 USD 266 SC	7.734000
0609 USD 266 SG	20.000000
0752 USD 266 BOND	17.235000
0809 USD 266 REC COMM	0.999000
0907 PARK-MAIZE CEMETERY	0.543000
1108 SEDG CO FIRE DISTRICT #1	17.000000
1401 SOUTH CENTRAL KANSAS LIBRARY SYS	1.160000

Total: 153.150000


[Home](#)

LOT 3 BLOCK A DEXTER COMMERCIAL CORNER ADDITION

Property Description

Property Type	Agricultural Use
Legal Description	LOT 3 BLOCK A DEXTER COMMERCIAL CORNER ADDITION
Property Address	
Owner	KTD MANAGEMENT LLC
Mailing Address	11724 W TEXAS ST WICHITA KS 67209- 4041
Geo Code	PK MA03876
PIN	30021902
AIN	084180440200300
Quick Ref ID	R944163
Tax Unit	6201 200 MAIZE U-266-PC-CFDPKMA
Land Use	9010 Farming/ranch land (no improvements)
2025 Market Land Square Feet	0
2025 Total Acres	1.08
2025 Total Ag Acres	1.08
2025 Appraisal Value	\$10
2025 Assessment Value	\$3

Assessment Values

Year	Class	Land	Improvements	Total	Change
2025	Agricultural		\$3	\$0	\$3

Property Value Estimates

2025 Appraised Value	\$10
2025 Value Method	COST
Override Reason	

Method	Value
Cost Estimate	\$10
Market Estimate	\$0
MRA Estimate	\$0
Weighted Estimate	\$0
Indexed Estimate	\$0

Agricultural Land Characteristics

Total Ag Acres (All Types)	1.08	
Total Dry Crop Acres	0.00	
Total Irrigated Acres	0.00	
Total Native Grass Acres	1.08	
Total Tame Grass Acres	0.00	
	Use Value	Market Value
Total Ag Value (All)	\$10	\$460
Dry Crop	\$0	\$0
Irrigated	\$0	\$0
Native Grass	\$10	\$460
Tame Grass	\$0	\$0

* Information on the property card is as of January 1st

Appraisal Values

Year	Class	Land	Improvements	Total	Change
2025	Agricultural		\$10	\$0	\$10
2024	Agricultural		\$10	\$0	\$10
2023	Agricultural		\$0	\$0	\$0

2024 Agricultural \$3 \$0 \$3 -99% 2023 Agricultural \$287 \$0 \$287

Tax Billings

Tax Year	Tax Rate	General Tax	Specials Tax	Interest	Fees	Total	Paid	Balance
2024	153.150000	\$0.42	\$0.00	\$0.00	\$0.00	\$0.42	\$0.42	\$0.00
2023	154.333000	\$44.28	\$0.00	\$0.00	\$0.00	\$44.28	\$44.28	\$0.00

Tax Authorities

Tax Authority	Tax Rate
0101 STATE	1.500000
0201 COUNTY	28.701000
0444 PARK TOWNSHIP	0.133000
0512 CITY OF MAIZE	43.014000
0609 USD 266	15.131000
0609 USD 266 SC	7.734000
0609 USD 266 SG	20.000000
0752 USD 266 BOND	17.235000
0809 USD 266 REC COMM	0.999000
0907 PARK-MAIZE CEMETERY	0.543000
1108 SEDG CO FIRE DISTRICT #1	17.000000
1401 SOUTH CENTRAL KANSAS LIBRARY SYS	1.160000

Total: 153.150000



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Parcel ID: 087-084-18-0-44-02-005.00-

SGORIONPROD Expanded Appraisal Card

Quick Ref: R944161



Tax Year: 2024 Run Date: 2/17/2025 3:31:17 PM

OWNER NAME AND MAILING ADDRESS

KTD MANAGEMENT LLC

11724 W TEXAS ST

WICHITA, KS 67209-4041

PROPERTY SITUS ADDRESS

5401 N MAIZE RD

MAIZE, KS 67101

LAND BASED CLASSIFICATION SYSTEM

Function: 1101 Single family re: Sfx:
Activity: 1100 Household activities
Ownership: 1100 Private-fee simple
Site: 6000 Developed site - with building

GENERAL PROPERTY INFORMATION

Prop Class: R Residential - R
Property Type: RR-Rural Res Homesite
Living Units: 1
Zoning:
Multi-Zoning: N Non-Conforming: N
Neighborhood: 715.1 715.1
Economic Adj. Factor:
Map / Routing: /
School District: 0609 USD 266 SC
Legacy ID: 30021900
Investment Class:
Tax Unit Group: 6201-6201 200 MAIZE U-266-PC-CFDPKMA

TRACT DESCRIPTION

LOT 1 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION



Image Date: 02/27/2024

PROPERTY FACTORS

Topography: Level - 1
Utilities: Well - 5, Septic - 6
Access: Paved Road - 1
Fronting: Secondary Artery - 2
Location: Neighborhood or Spot - 6
Parking Type: Off Street - 1
Parking Quantity: Adequate - 2
Parking Proximity: On Site - 3
Parking Covered:
Parking Uncovered:

INSPECTION HISTORY

Date	Time	Code	Reason	Appraiser	Contact	Code
07/10/2023	8:34 AM	11	SC	475		
07/07/2022	3:00 PM	9	MU	418		
11/28/2017	8:00 AM	17	RE	556		

BUILDING PERMITS

Number	Amount	Type	Issue Date	Status	% Comp
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2024 APPRAISED VALUE

Cls	Land	Building	Total
R	15.100	220.320	235.420
Total	15.100	220.320	235.420

2023 APPRAISED VALUE

Cls	Land	Building	Total
Total	0	0	0

MISCELLANEOUS IMPROVEMENT VALUES

Class	Value	Reason Code
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NEW CONSTRUCTION

Class	Value	Reason Code
-------	-------	-------------

MARKET LAND INFORMATION

Size	Type	AC/SF	Eff FF	Depth	D-Fact	Inf1	Fact1	Inf2	Fact2	OVRD	Rsn	Cls	Model	Base Size	Base Val	Inc Val	Dec Val	\$/Unit	Value Est
Acre	1-Primary Site - 1	1.22											RA0101	2.00	9,600.00	5,300.00	5,300.00	12,377	15,100

Total Market Land Value 15,100



Parcel ID: 087-084-18-0-44-02-005.00-

SGORIONPROD Expanded Appraisal Card

Quick Ref: R944161



Tax Year: 2024 Run Date: 2/17/2025 3:31:17 PM

DWELLING INFORMATION			COMP SALES INFORMATION			CALCULATED VALUES		
Situs: 5401 N MAIZE RD MAIZE, KS 67101			Arch Style: 02-Ranch			Cost Land: 15,100		
Res Type: 1-Single-Family Residence			Bsmt Type: 2-Crawl - 2			Cost Building: 220,320		
Quality: 3.33-AV+			Total Rooms: 6		Bedrooms: 3	Cost Total: 235,420		
Year Blt: 1956 Est:			Family Rooms:			Ag Use Land: 0		
Eff Year:			Full Baths: 2		Half Baths:	Ag Buildings: 0		
MS Style: 1-One Story			Garage Cap:			Misc. Buildings: 0		
LBCSStruct: 1110-Detached SFR unit			Foundation: Concrete - 2			Manufactured Homes: 0		
No. of Units:			Model/Mkt Area: 05			Income Value: 0		
Total Living Area: 2,061						Market Value: 231,700		
Calculated Area: 2,061						MRA Value: 224,900		
Main Floor Living Area: 2,061						Weighted Estimate: 236,100		
Upper Floor Living Area Pct:						New Construction: 0		
CDU: AV						Indexed Value: 0		
			IMPROVEMENT COST SUMMARY					
Phys/Func/Econ: AV / /			Dwelling RCN:		325,920			
Ovr Pct Gd/Rsn:			Percent Good:		62			
Remodel:			Mkt Adj: 100		Eco Adj: 100			
Remodel Descrip: 1980			Building Value:		202,070			
Percent Complete:			Other Improvement RCN:		71,970			
Assessment Class:			Other Improvement Value:		18,250			
MU Cls/Pct:						FINAL VALUES		
						Value Method: COST		
						Land Value: 15,100		
						Building Value: 220,320		
						Final Value: 235,420		
						Prior Value:		

OTHER BUILDING IMPROVEMENTS																						
No.	Occupancy	MSCIs	Rank	Qty	Yr Blt	Eff Yr	LBCS	Area	Perim	Hgt	Dimensions	Stories	Phys	Func	Econ	OVR%	Rsn	Cls	% Comp	RCN	%Gd	Value
	152-Residential Garage - Detach	D	1.00	1	1956			864	120	8	36 X 24	1.00	3	3					0	22,400	36	8,060
	479-Farm Utility Storage Shed	D	0.60	1	1940			180	56	8	18 X 10	1.00	1	2					0	2,340	12	280
	163-Site Improvements	C	2.00	1	1983			10		8		1.00	3	3					0	8,540	30	2,560
	477-Farm Utility Building	D	2.67	1	1981			1,512	156	14	42 X 36	1.00	3	3					0	38,690	19	7,350

DWELLING COMPONENTS						DWELLING COMPONENTS					
No.	Code	Units	Pct	Quality	Year	No.	Code	Units	Pct	Quality	Year
1	131-Veneer, Brick		100			9	693-Site Improvements (Depreciated)	20,690			
2	208-Composition Shingle		100			10	901-Open Slab Porch	300		4.00	1980
3	351-Warmed & Cooled Air		100			11	903-Wood Deck	144			1983
4	402-Automatic Floor Cover Allowance					12	905-Raised Slab Porch with Roof	77			
5	601-Plumbing Fixtures	8				13	912-Raised Enclosed Porch, Solid Walls	350			
6	602-Plumbing Rough-ins	1									
7	622-Raised Subfloor	2,061									
8	641-Single 1-Story Fireplace	1									



Parcel ID: 087-084-18-0-44-02-005.00-

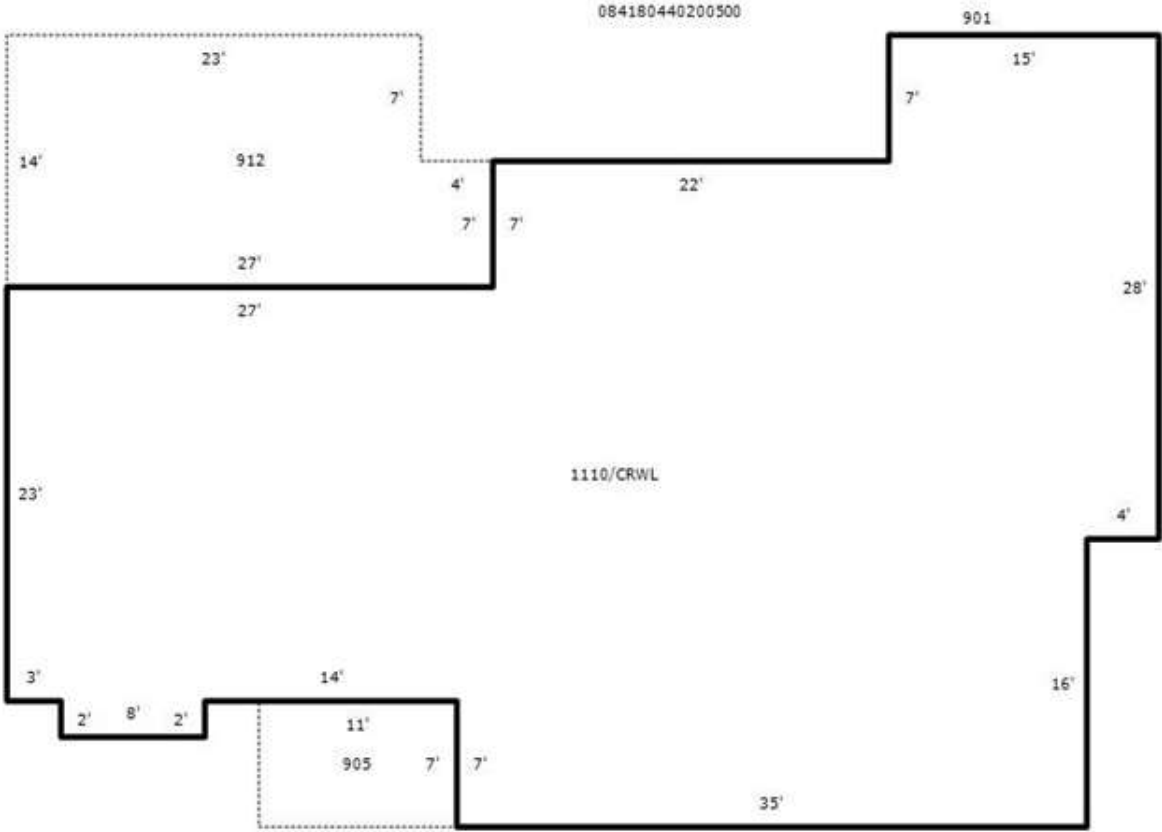
Quick Ref: R944161



OTHER BUILDING IMPROVEMENT COMPONENTS

No.	Code	Units	Pct	Size	Other	Rank	Year
	649-No HVAC						
	910-Single -Wall-Boards on Wood		100				
	6602078-Gazebo, Standard	1					1983
	649-No HVAC						
	910-Single -Wall-Boards on Wood		100				

Situs: 5401 N MAIZE RD MAIZE, KS 67101





Parcel ID: 087-084-18-0-44-02-004.00-

Quick Ref: R944162



Tax Year: 2024 Run Date: 11/26/2024 8:54:13 AM

OWNER NAME AND MAILING ADDRESS

KTD MANAGEMENT LLC

11724 W TEXAS ST

WICHITA, KS 67209-4041

PROPERTY SITUS ADDRESS

LAND BASED CLASSIFICATION SYSTEM

Function: 9020 Farming / ranch Sfx:
Activity: 8100 Farming, plowing, tilling, harv
Ownership: 1100 Private-fee simple
Site: 3200 Dev Site - crops, grazing etc.

GENERAL PROPERTY INFORMATION

Prop Class: A Agricultural Use - A
Property Type: AA-Ag Land with Ag Buildings
Living Units:
Zoning: AA
Multi-Zoning: N Non-Conforming: N
Neighborhood: 842.9 842.9
Economic Adj. Factor:
Map / Routing: /
School District: 0609 USD 266
Legacy ID: 30021901
Investment Class:
Tax Unit Group: 6201-6201 200 MAIZE U-266-PC-CFDPKMA

TRACT DESCRIPTION

LOT 2 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION



Image Date: 02/27/2024

PROPERTY FACTORS

Topography: Level - 1, Rolling - 4
Utilities: None - 8
Access: Paved Road - 1
Fronting: Secondary Street - 3
Location: Neighborhood or Spot - 6
Parking Type: Off Street - 1
Parking Quantity: Adequate - 2
Parking Proximity: On Site - 3
Parking Covered:
Parking Uncovered:

INSPECTION HISTORY

Date	Time	Code	Reason	Appraiser	Contact	Code
07/10/2023	8:34 AM	11	SC	475		
09/16/2021	8:00 AM	9	MU	542		
08/13/2020	8:00 AM	19	RE	529		

BUILDING PERMITS

Number	Amount	Type	Issue Date	Status	% Comp
--------	--------	------	------------	--------	--------

2024 APPRAISED VALUE

Cls	Land	Building	Total
A	10	3,340	3,350
Total	10	3,340	3,350

2023 APPRAISED VALUE

Cls	Land	Building	Total
Total	0	0	0

MISCELLANEOUS IMPROVEMENT VALUES

Class	Value	Reason Code
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NEW CONSTRUCTION

Class	Value	Reason Code
-------	-------	-------------

MARKET LAND INFORMATION

Size	Type	AC/SF	Eff FF	Depth	D-Fact	Inf1	Fact1	Inf2	Fact2	OVRD	Rsn	Cls	Model	Base Size	Base Val	Inc Val	Dec Val	\$/Unit	Value Est
------	------	-------	--------	-------	--------	------	-------	------	-------	------	-----	-----	-------	-----------	----------	---------	---------	---------	-----------

Total Market Land Value 0



Parcel ID: 087-084-18-0-44-02-004.00-

Quick Ref: R944162



Tax Year: 2024 Run Date: 11/26/2024 8:54:13 AM

AGRICULTURAL LAND											
Ag Type	Ag Acres	Soil Unit	Irr Type	Well Depth	Acre Feet	Acre Ft/Ac	Adj Code	Govt Prog	Base Rate	Adj Rate	Ag Value
NG	1.22	5832				0.00			11	11	10

COMMENTS

IMPROVEMENT COST SUMMARY

Other Improvement RCN:	38,200
Eco Adj:	100
Other Improvement Value:	3,340

AG LAND SUMMARY

Dry Land Acres:	0.00
Irrigated Acres:	0.00
Native Grass Acres:	1.22
Tame Grass Acres:	0.00
Total Ag Acres:	1.22
Total Ag Use Value:	10
Total Ag Mkt Value:	390

OTHER BUILDING IMPROVEMENTS

No.	Occupancy	MSCIs	Rank	Qty	Yr Blt	Eff Yr	LBCS	Area	Perim	Hgt	Dimensions	Stories	Phys	Func	Econ	OVR%	Rsn	Cls	% Comp	RCN	%Gd	Value
1	477-Farm Utility Building	D	0.60	1	1948			3,360	232	18	60 X 56	1.00	2	2					0	33,400	8	2,670
2	479-Farm Utility Storage Shed	D	1.00	1	1955			512	64	8	32 X 16	1.00	2	3					0	4,800	14	670

OTHER BUILDING IMPROVEMENT COMPONENTS

No.	Code	Units	Pct	Size	Other	Rank	Year
1	918-Single -Metal on Wood Frame		100				
2	649-No HVAC						
2	910-Single -Wall-Boards on Wood		100				



Parcel ID: 087-084-18-0-44-02-003.00-

Quick Ref: R944163

Tax Year: 2024 Run Date: 11/26/2024 8:55:26 AM

OWNER NAME AND MAILING ADDRESS

KTD MANAGEMENT LLC

11724 W TEXAS ST

WICHITA, KS 67209-4041

PROPERTY SITUS ADDRESS

LAND BASED CLASSIFICATION SYSTEM

Function: 9010 Farming / ranch Sfx:
Activity: 8100 Farming, plowing, tilling, harv
Ownership: 1100 Private-fee simple
Site: 3100 Dev Site - crops, grazing etc.

GENERAL PROPERTY INFORMATION

Prop Class: A Agricultural Use - A
Property Type: A-Agricultural Use
Living Units:
Zoning: AA
Multi-Zoning: N Non-Conforming: N
Neighborhood: 842.9 842.9
Economic Adj. Factor:
Map / Routing: /
School District: 0609 USD 266
Legacy ID: 30021902
Investment Class:
Tax Unit Group: 6201-6201 200 MAIZE U-266-PC-CFDPKMA

TRACT DESCRIPTION

LOT 3 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION

INSPECTION HISTORY

Date	Time	Code	Reason	Appraiser	Contact	Code
07/10/2023	8:34 AM	11	SC	475		
09/16/2021	8:00 AM	9	MU	542		
08/13/2020	8:00 AM	19	RE	529		

No Image Available

PROPERTY FACTORS

Topography:	Level - 1, Rolling - 4
Utilities:	None - 8
Access:	Paved Road - 1
Fronting:	Secondary Street - 3
Location:	Neighborhood or Spot - 6
Parking Type:	Off Street - 1
Parking Quantity:	Adequate - 2
Parking Proximity:	On Site - 3
Parking Covered:	
Parking Uncovered:	

2024 APPRAISED VALUE

Cls	Land	Building	Total
A	10	0	10
Total	10	0	10

2023 APPRAISED VALUE

Cls	Land	Building	Total
Total	0	0	0

MISCELLANEOUS IMPROVEMENT VALUES

Class	Value	Reason Code
-------	-------	-------------

NEW CONSTRUCTION

Class	Value	Reason Code
-------	-------	-------------

MARKET LAND INFORMATION

Size	Type	AC/SF	Eff FF	Depth	D-Fact	Inf1	Fact1	Inf2	Fact2	OVRD	Rsn	Cls	Model	Base Size	Base Val	Inc Val	Dec Val	\$/Unit	Value Est
------	------	-------	--------	-------	--------	------	-------	------	-------	------	-----	-----	-------	-----------	----------	---------	---------	---------	-----------

Total Market Land Value	0
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Parcel ID: 087-084-18-0-44-02-003.00-

Quick Ref: R944163



Tax Year: 2024 Run Date: 11/26/2024 8:55:26 AM

AGRICULTURAL LAND

Ag Type	Ag Acres	Soil Unit	Irr Type	Well Depth	Acre Feet	Acre Ft/Ac	Adj Code	Govt Prog	Base Rate	Adj Rate	Ag Value
NG	1.08	5832				0.00			11	11	10

COMMENTS

IMPROVEMENT COST SUMMARY

Other Improvement RCN:	0
Eco Adj:	100
Other Improvement Value:	0

AG LAND SUMMARY

Dry Land Acres:	0.00
Irrigated Acres:	0.00
Native Grass Acres:	1.08
Tame Grass Acres:	0.00
Total Ag Acres:	1.08
Total Ag Use Value:	10
Total Ag Mkt Value:	350

Property Information Report

Owner Name: KTD MANAGEMENT LLC
PIN Number: 30021900
AIN: 087-084-18-0-44-02-005.00
Geocode: PK MA03874
Tax Unit: 62-01

Owner Address

Owner Name: KTD MANAGEMENT LLC
Owner Address: 11724 W TEXAS ST
Owner City: WICHITA
Owner State: KS
Owner ZIP: 67209-4041

Property Address

Property Address: 5401 N MAIZE RD
Property City: MAIZE
Property State: KS
Property ZIP: 67101

Appraised Values

Appraised Land Value: \$15,100
Appraised Improvement Value: \$220,320
Appraised Total Value: \$235,420

Assessed Values

Assessed Land Value: \$1,737
Assessed Improvement Value: \$25,337
Assessed Total Value: \$27,074

Land Information

Total Acres: 1.221
Total Square Feet: 53,190

**Abbreviated
Legal
Description:**

LOT 1 BLOCK A DEXTER COMMERCIAL CORNER ADDITION

Improvement Information

Year Built: 1956
Year Last Sold: N/A
Style: 1.0 Story
Basement Type: Crawl - 2
Arch Style Desc: Ranch
Neighborhood Code: 715.1

Living Unit: 1
Bedrooms: 3
Bathrooms: 2
Half Bath: N/A

Total Sq Ft: N/A
Ground Floor Sq Ft: 2061

Other Information

School District: 266

Property Information Report

Owner Name: KTD MANAGEMENT LLC
PIN Number: 30021901
AIN: 087-084-18-0-44-02-004.00
Geocode: PK MA03875
Tax Unit: 62-01

Owner Address

Owner Name: KTD MANAGEMENT LLC
Owner Address: 11724 W TEXAS ST
Owner City: WICHITA
Owner State: KS
Owner ZIP: 67209-4041

Property Address

Property Address:
Property City: null
Property State: KS
Property ZIP:

Appraised Values

Appraised Land Value: \$10
Appraised Improvement Value: \$3,340
Appraised Total Value: \$3,350

Assessed Values

Assessed Land Value: \$3
Assessed Improvement Value: \$835
Assessed Total Value: \$838

Land Information

Total Acres: 1.217
Total Square Feet: 53,014

**Abbreviated
Legal
Description:**

LOT 2 BLOCK A DEXTER COMMERCIAL CORNER ADDITION

Improvement Information

Year Built:
Year Last Sold: N/A
Style: N/A
Basement Type: N/A
Arch Style Desc: N/A
Neighborhood Code: 842.9

Living Unit: N/A
Bedrooms: N/A
Bathrooms: N/A
Half Bath: N/A

Total Sq Ft: N/A
Ground Floor Sq Ft: N/A

Other Information

School District: 266

Property Information Report

Owner Name: KTD MANAGEMENT LLC
PIN Number: 30021902
AIN: 087-084-18-0-44-02-003.00
Geocode: PK MA03876
Tax Unit: 62-01

Owner Address

Owner Name: KTD MANAGEMENT LLC
Owner Address: 11724 W TEXAS ST
Owner City: WICHITA
Owner State: KS
Owner ZIP: 67209-4041

Property Address

Property Address:
Property City: null
Property State: KS
Property ZIP:

Appraised Values

Appraised Land Value: \$10
Appraised Improvement Value: \$0
Appraised Total Value: \$10

Assessed Values

Assessed Land Value: \$3
Assessed Improvement Value: \$0
Assessed Total Value: \$3

Land Information

Total Acres: 1.081
Total Square Feet: 47,087

**Abbreviated
Legal
Description:**

LOT 3 BLOCK A DEXTER COMMERCIAL CORNER ADDITION

Improvement Information

Year Built:
Year Last Sold: N/A
Style: N/A
Basement Type: N/A
Arch Style Desc: N/A
Neighborhood Code: 842.9

Living Unit: N/A
Bedrooms: N/A
Bathrooms: N/A
Half Bath: N/A

Total Sq Ft: N/A
Ground Floor Sq Ft: N/A

Other Information

School District: 266

Sedgwick County Appraiser's Office

271 W 3rd St N, Ste 501~ Wichita, KS 67202-1223 ~ www.sedgwickcounty.org
TEL: 316-660-5443 FAX: 316-660-5479

Mark Clark, AAS, RMA
County Appraiser



WEIGAND
CTION

KTD MANAGEMENT LLC
11724 W TEXAS ST
WICHITA KS 67209-4041

Mailing Date: 03/01/2024

Appeal Filing Deadline: April 1, 2024

2024 ANNUAL NOTICE OF VALUE THIS IS NOT A TAX BILL

AIN
087084180440200500

PIN
30021900

QuickRefID
R944161



Property Address: 5401 N MAIZE RD

TAG: 6201

Legal Description: LOT 1 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION

LBCS: Single family residence (detached)

THE APPRAISAL OF YOUR PROPERTY HAS BEEN COMPLETED AS REQUIRED BY KANSAS LAW (K.S.A. 79-1476).
This is your official notification of the Appraiser's estimate of value for the property identified above.

2024		
Classification	Appraised	Assessed
R	\$225,820	\$25,970
Total	\$225,820	\$25,970

2023		
Classification	Appraised	Assessed
Total	\$0	\$0

Historical Property Values					
2022	Appraised	Assessed		Appraised	Assessed

THE APPRAISED VALUE LISTED ABOVE HAS BEEN MULTIPLIED BY THE ASSESSMENT PERCENTAGE LISTED BELOW FOR EACH CLASS TO OBTAIN THE ASSESSED VALUE.

Assessment Rates					
Class	Description	Rate	Class	Description	Rate
A	Improvements on Land Devoted to Agricultural Use	25%	C	Commercial or Industrial	25%
E	Exempt Property	0%	A	Land Devoted to Agricultural Use	30%
F	Residences on Farm Home sites	11.5%	N	Not for Profit Organizations	12%
R	Residential Use including Apartments and Condominiums	11.5%	O	Other	30%
			V	Vacant Lots	12%

IMPORTANT

Kansas law provides for informal meetings between property owners and the County Appraiser's Office to review the appraised value and ensure that all information on file is correct. **A valuation appeal is not a complaint about higher taxes. It is an effort to reconcile your property to its fair market value.** The tax impact (change in your taxes) cannot be determined until the levies are set by the various taxing jurisdictions later in the year. Please be aware that even though the assessed value of your property may have increased, you may not necessarily experience a similar increase in your real estate taxes. It depends on whether the mill levy adopted by the taxing authorities: (1) remains the same, (2) is decreased, or (3) is increased.

Sedgwick County Appraiser's Office

271 W 3rd St N, Ste 501~ Wichita, KS 67202-1223 ~ www.sedgwickcounty.org
TEL: 316-660-5443 FAX: 316-660-5479

Mark Clark, AAS, RMA
County Appraiser



KTD MANAGEMENT LLC
11724 W TEXAS ST
WICHITA KS 67209-4041

Mailing Date: 03/01/2025

Appeal Filing Deadline: March 31, 2025

2025 ANNUAL NOTICE OF VALUE THIS IS NOT A TAX BILL

AIN
087084180440200400

PIN
30021901

QuickRefID
R944162



Property Address: No Situs

TAG: 6201

Legal Description: LOT 2 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION

LBCS: Farming / ranch land (with Ag improvements)

THE APPRAISAL OF YOUR PROPERTY HAS BEEN COMPLETED AS REQUIRED BY KANSAS LAW (K.S.A. 79-1476).
This is your official notification of the Appraiser's estimate of value for the property identified above.

2025		
Classification	Appraised	Assessed
A	\$3,220	\$806
Total	\$3,220	\$806

2024		
Classification	Appraised	Assessed
A	\$3,350	\$838
Total	\$3,350	\$838

Historical Property Values			
2023		Appraised	Assessed
2022		Appraised	Assessed

THE APPRAISED VALUE LISTED ABOVE HAS BEEN MULTIPLIED BY THE ASSESSMENT PERCENTAGE LISTED BELOW FOR EACH CLASS TO OBTAIN THE ASSESSED VALUE.

Assessment Rates					
Class	Description	Rate	Class	Description	Rate
A	Improvements on Land Devoted to Agricultural Use	25%	C	Commercial or Industrial	25%
E	Exempt Property	0%	A	Land Devoted to Agricultural Use	30%
F	Residences on Farm Home sites	11.5%	N	Not for Profit Organizations	12%
R	Residential Use including Apartments and Condominiums	11.5%	O	Other	30%
			V	Vacant Lots	12%

IMPORTANT

Kansas law provides for informal meetings between property owners and the County Appraiser's Office to review the appraised value and ensure that all information on file is correct. **A valuation appeal is not a complaint about higher taxes. It is an effort to reconcile your property to its fair market value.** The tax impact (change in your taxes) cannot be determined until the levies are set by the various taxing jurisdictions later in the year. Please be aware that even though the assessed value of your property may have increased, you may not necessarily experience a similar increase in your real estate taxes. It depends on whether the mill levy adopted by the taxing authorities: (1) remains the same, (2) is decreased, or (3) is increased.

Sedgwick County Appraiser's Office

271 W 3rd St N, Ste 501~ Wichita, KS 67202-1223 ~ www.sedgwickcounty.org
TEL: 316-660-5443 FAX: 316-660-5479

Mark Clark, AAS, RMA
County Appraiser



KTD MANAGEMENT LLC
11724 W TEXAS ST
WICHITA KS 67209-4041

Mailing Date: 03/01/2025

Appeal Filing Deadline: March 31, 2025

2025 ANNUAL NOTICE OF VALUE THIS IS NOT A TAX BILL

AIN
087084180440200300

PIN
30021902

QuickRefID
R944163



Property Address: No Situs

TAG: 6201

Legal Description: LOT 3 BLOCK A DEXTER COMMERCIAL
CORNER ADDITION

LBCS: Farming / ranch land (no improvements)

THE APPRAISAL OF YOUR PROPERTY HAS BEEN COMPLETED AS REQUIRED BY KANSAS LAW (K.S.A. 79-1476).
This is your official notification of the Appraiser's estimate of value for the property identified above.

2025		
Classification	Appraised	Assessed
A	\$10	\$3
Total	\$10	\$3

2024		
Classification	Appraised	Assessed
A	\$10	\$3
Total	\$10	\$3

Historical Property Values			
	Appraised	Assessed	
2023			2022

THE APPRAISED VALUE LISTED ABOVE HAS BEEN MULTIPLIED BY THE ASSESSMENT PERCENTAGE LISTED BELOW FOR EACH CLASS TO OBTAIN THE ASSESSED VALUE.

Assessment Rates					
Class	Description	Rate	Class	Description	Rate
A	Improvements on Land Devoted to Agricultural Use	25%	C	Commercial or Industrial	25%
E	Exempt Property	0%	A	Land Devoted to Agricultural Use	30%
F	Residences on Farm Home sites	11.5%	N	Not for Profit Organizations	12%
R	Residential Use including Apartments and Condominiums	11.5%	O	Other	30%
			V	Vacant Lots	12%

IMPORTANT

Kansas law provides for informal meetings between property owners and the County Appraiser's Office to review the appraised value and ensure that all information on file is correct. **A valuation appeal is not a complaint about higher taxes. It is an effort to reconcile your property to its fair market value.** The tax impact (change in your taxes) cannot be determined until the levies are set by the various taxing jurisdictions later in the year. Please be aware that even though the assessed value of your property may have increased, you may not necessarily experience a similar increase in your real estate taxes. It depends on whether the mill levy adopted by the taxing authorities: (1) remains the same, (2) is decreased, or (3) is increased.

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:30:36 AM

Parcel ID: 087-084-18-0-44-02-005.00-

Quick Ref ID: R944161

Calc Date: 12/24/2024^N

Owner:

Date

Amount

Type

Source

Validity

LBCS Function: 1101 - Single family residence (detached)

Sale 1

Nbhd: 715.1

Sale 2

Primary Situs: 5401 N MAIZE RD

Sale 3

MAIZE, KS 67101

RES DWELLING 1

Residence Type: 1
 LBCS Structure: 1110 - Detached SFR unit
 Yr Built / EFF Yr Built: 1956/
 Style: 1
 Arch Style: Ranch
 Quality: AV+

Ovr Tot Area: 2,061
 Calc Area: 2,061
 MFLA: 2,061
 UFLA Pct:

CDU: AV
 Phys/Func: AV/
 Economic:
 Assmnt Class: R
 M&S Zip / Mult: /

Marshall & Swift Information:

Wall Hgt Factor: 1.000

Local Multiplier: 0.930

	Units	Cost	Total
Base Cost	2,061	136.69	281,715
131 - Veneer, Brick	2,061	93.29	192,271
208 - Composition Shingle	2,061	3.84	7,914
622 - Raised Subfloor	2,061	13.03	26,855
402 - Automatic Floor Cover Allowance	2,061	6.75	13,912
351 - Warmed & Cooled Air	2,061	8.21	16,921
601 - Plumbing Fixtures	8	2,174.11	17,393
602 - Plumbing Rough-ins	1	799.15	799
641 - Single 1-Story Fireplace	1	5,649.75	5,650
901 - Open Slab Porch	300	9.90	2,970
903 - Wood Deck	144	27.54	3,966
905 - Raised Slab Porch with Roof	77	43.79	3,372
912 - Raised Enclosed Porch, Solid Walls	350	58.79	20,577
Total Replacement Cost New:			312,600

TOTAL RES DWELLING 1 COST VALUE

Replacement Cost New: 312,600
 Ovr Pct Good:
 Overall % Good(5): 62
 Unadjusted RCNLD: 193,810
 Market Adj Factor: 100
 Economic Adj Factor: 100
 Adjusted RCNLD: 193,810

RES DWELLING 1 OTHER IMPROVEMENT 1

Occupancy: 152 - Residential Garage - Detached
 LBCS Struct:
 Quantity: 1
 M&S Class: D
 Rank/Quality: FR
 Yr Blt / Eff Yr Blt: 1956/

Num Stories: 1.00
 Area: 864
 Perimeter: 120
 Wall Height: 8
 Length: 36
 Width: 24

Physical Cond: AV
 Functional: AV
 Economic:
 Assmt Class:
 M&S Zip / Multi: /

Marshall & Swift Information:

Wall Hgt Factor: 1.00
 Local Multiplier: 0.910

No. of Stories Adj: 1.00
 Perimeter Adj: 0.896

	Units	Cost	Total
Base Cost:	864.00	25	21,911
Total Replacement Cost New			21,910

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:30:36 AM

Parcel ID: 087-084-18-0-44-02-005.00-

Quick Ref ID: R944161

Calc Date:

12/24/2024^N

TOTAL RES DWELLING 1 OTHER IMPROVEMENT 1 COST VALUE

Replacement Cost New:	21,910
Ovrd Pct Good:	
Overall % Good(5)	36
Unadjusted RCNLD:	7,890
Market Adj Factor:	100
Economic Adj Factor:	100
Adjusted RCNLD:	7,890
Identical Units:	1
Total Adjusted RCNLD:	7,890

RES DWELLING 1 OTHER IMPROVEMENT 2

Occupancy:	479 - Farm Utility Storage Shed	Num Stories:	1.00	Physical Cond:	PR
LBCS Struct:		Area:	180	Functional:	FR
Quantity:	1	Perimeter	56	Economic:	
M&S Class:	D	Wall Height:	8		
Rank/Quality:	LO	Length:	18	Assmt Class:	
Yr Blt / Eff Yr Blt:	1940/	Width:	10	M&S Zip / Multi:	/

Marshall & Swift Information:

Wall Hgt Factor:	0.96	No. of Stories Adj:	1.00
Local Multiplier:	0.910	Perimeter Adj:	1.614

	Units	Cost	Total
Base Cost:	180.00	6	1,010
910 - Single -Wall-Boards on Wood	180	6.87	1,237
Total Replacement Cost New			2,250

TOTAL RES DWELLING 1 OTHER IMPROVEMENT 2 COST VALUE

Replacement Cost New:	2,250
Ovrd Pct Good:	
Overall % Good(5)	12
Unadjusted RCNLD:	270
Market Adj Factor:	100
Economic Adj Factor:	100
Adjusted RCNLD:	270
Identical Units:	1
Total Adjusted RCNLD:	270

RES DWELLING 1 OTHER IMPROVEMENT 3

Occupancy:	163 - Site Improvements	Num Stories:	1.00	Physical Cond:	AV
LBCS Struct:		Area:	10	Functional:	AV
Quantity:	1	Perimeter		Economic:	
M&S Class:	C	Wall Height:			
Rank/Quality:	AV	Length:		Assmt Class:	
Yr Blt / Eff Yr Blt:	1983/	Width:		M&S Zip / Multi:	/

Marshall & Swift Information:

Wall Hgt Factor:	1.00	No. of Stories Adj:	1
Local Multiplier:	0.940	Perimeter Adj:	1

	Units	Cost	Total
6602 - Gazebo, Standard	1	8,528.00	8,528
Total Replacement Cost New			8,530

TOTAL RES DWELLING 1 OTHER IMPROVEMENT 3 COST VALUE

Replacement Cost New:	8,530
Ovrd Pct Good:	
Overall % Good(5)	30
Unadjusted RCNLD:	2,560
Market Adj Factor:	100
Economic Adj Factor:	100
Adjusted RCNLD:	2,560
Identical Units:	1
Total Adjusted RCNLD:	2,560

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:30:36 AM

Parcel ID: 087-084-18-0-44-02-005.00-

Quick Ref ID: R944161

Calc Date:

12/24/2024^N

RES DWELLING 1 OTHER IMPROVEMENT 4

Occupancy:	477 - Farm Utility Building	Num Stories:	1.00	Physical Cond:	AV
LBCS Struct:		Area:	1,512	Functional:	AV
Quantity:	1	Perimeter:	156	Economic:	
M&S Class:	D	Wall Height:	14	Assmt Class:	
Rank/Quality:	GD-	Length:	42	M&S Zip / Multi:	/
Yr Blt / Eff Yr Blt:	1981/	Width:	36		

Marshall & Swift Information:

Wall Hgt Factor:	1.08	No. of Stories Adj:	1.00
Local Multiplier:	0.910	Perimeter Adj:	1.054

	Units	Cost	Total
Base Cost:	1,512.00	17	25,432
910 - Single -Wall-Boards on Wood	1,512	7.64	11,552
Total Replacement Cost New			36,980

TOTAL RES DWELLING 1 OTHER IMPROVEMENT 4 COST VALUE

Replacement Cost New:	36,980
Ovrd Pct Good:	
Overall % Good(5)	18
Unadjusted RCNLD:	6,660
Market Adj Factor:	100
Economic Adj Factor:	100
Adjusted RCNLD:	6,660
Identical Units:	1
Total Adjusted RCNLD:	6,660

MISCELLANEOUS SITE OVERRIDE VALUE

Misc Site Reason Code:	Class	Value
		Total: \$0

LAND VALUES

Market Land Value:	Class	Size	Base Size / Rate	Incr / Decr	Infl Factors	OVRD	Unit Price	Value
Primary Site - 1	R	1.22 AC	2 / \$15,800.00	5.300.00 / 5.300.00			\$22,540.98	\$27,500
							Total:	\$27,500

MARKET LAND TOTAL

\$27,500

RES DWELLING 1 TOTAL (INCL OTHER IMPROVEMENTS)

\$211,190

MISCELLANEOUS SITE IMPROVEMENTS

\$0

TOTAL PARCEL COST VALUE

\$238,690

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:29:48 AM

Parcel ID: 087-084-18-0-44-02-004.00-

Quick Ref ID: R944162

Calc Date:

02/07/2025^N

Owner:

Date

Amount

Type

Source

Validity

LBCS Function: 9020 - Farming / ranch land (with Ag improvements)

Sale 1

Nbhd: 842.9

Sale 2

Primary Situs:

Sale 3

PARCEL OTHER IMPROVEMENT 1

Occupancy: 477 - Farm Utility Building

Num Stories: 1.00

Physical Cond: FR

LBCS Struct:

Area: 3,360

Functional: FR

Quantity: 1

Perimeter 232

Economic:

M&S Class: D

Wall Height: 18

Rank/Quality: LO

Length: 60

Assmt Class:

Yr Blt / Eff Yr Blt: 1948/

Width: 56

M&S Zip / Multi: /

Marshall & Swift Information:

Wall Hgt Factor: 1.15

No. of Stories Adj: 1.00

Local Multiplier: 0.910

Perimeter Adj: 0.969

Units

Cost

Total

Base Cost:

3,360.00

5

17,170

918 - Single -Metal on Wood Frame

3,360

4.45

14,952

Total Replacement Cost New

32,120

TOTAL PARCEL OTHER IMPROVEMENT 1 COST VALUE

Replacement Cost New: 32,120

Ovrd Pct Good:

Overall % Good(5)

8

Unadjusted RCNLD: 2,570

Market Adj Factor:

100

Economic Adj Factor:

100

Adjusted RCNLD: 2,570

Identical Units:

1

Total Adjusted RCNLD: 2,570

PARCEL OTHER IMPROVEMENT 2

Occupancy: 479 - Farm Utility Storage Shed

Num Stories: 1.00

Physical Cond: FR

LBCS Struct:

Area: 512

Functional: AV

Quantity: 1

Perimeter 64

Economic:

M&S Class: D

Wall Height: 8

Rank/Quality: FR

Length: 32

Assmt Class:

Yr Blt / Eff Yr Blt: 1955/

Width: 16

M&S Zip / Multi: /

Marshall & Swift Information:

Wall Hgt Factor: 0.96

No. of Stories Adj: 1.00

Local Multiplier: 0.910

Perimeter Adj: 1.11

Units

Cost

Total

Base Cost:

512.00

4

2,053

910 - Single -Wall-Boards on Wood

512

4.98

2,550

Total Replacement Cost New

4,600

TOTAL PARCEL OTHER IMPROVEMENT 2 COST VALUE

Replacement Cost New: 4,600

Ovrd Pct Good:

Overall % Good(5)

14

Unadjusted RCNLD: 640

Market Adj Factor:

100

Economic Adj Factor:

100

Adjusted RCNLD: 640

Identical Units:

1

Total Adjusted RCNLD: 640

MISCELLANEOUS SITE OVERRIDE VALUE

Misc Site Reason Code:

Class

Value

Total:

\$0

This valuation report reflects market data conclusions developed in accordance with the USPAP Standards 5 and 6

1 of 2

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:29:48 AM

Parcel ID: 087-084-18-0-44-02-004.00-

Quick Ref ID: R944162

Calc Date:

02/07/2025^N

Total Ag Land Value:	Size	Ag Use Value	Ag Market Value
Native Grass	1.22	\$10	\$520
Total:	1.22	\$10	\$520
AG USE LAND TOTAL			\$10
PARCEL OTHER IMPROVEMENTS TOTAL			\$3,210
MISCELLANEOUS SITE IMPROVEMENTS			\$0
TOTAL PARCEL COST VALUE			\$3,220

Tax Year: 2025

SEDGWICK COUNTY COST VALUATION REPORT

3/7/2025 10:30:09 AM

Parcel ID: 087-084-18-0-44-02-003.00-

Quick Ref ID: R944163

Calc Date:

02/07/2025^N

Owner:

Date

Amount

Type

Source

Validity

LBCS Function: 9010 - Farming / ranch land (no improvements)

Sale 1

Sale 2

Sale 3

Nbhd: 842.9

Primary Situs:

MISCELLANEOUS SITE OVERRIDE VALUE

Misc Site Reason Code:

Class

Value

Total:

\$0

Total Ag Land Value:

Size

Ag Use Value

Ag Market Value

Native Grass

1.08

\$10

\$460

Total:

1.08

\$10

\$460

AG USE LAND TOTAL

\$10

MISCELLANEOUS SITE IMPROVEMENTS

\$0

TOTAL PARCEL COST VALUE

\$10



Sedgwick County
Register of Deeds - Tonya Buckingham
Doc.#/Flm-Pg: 30215710
Receipt #: 2363881
Pages Recorded: 2

WEIGAND

AUCTION
Recording Fee: \$38.00

Cashier: vbunch
Authorized By: *Tony Buckingham*
Date Recorded: 01/12/2023 12:47:43 PM



**RESTRICTIVE COVENANT FOR FUTURE
JOINT ACCESS EASEMENT AGREEMENT**

THIS RESTRICTIVE COVENANT made this 9th day of December, 2022, by KTD Management LLC, a Kansas Limited Liability Company, hereinafter called "Declarant".

WITNESSETH:

WHEREAS, Declarant is the owner of the following described real property, to-wit:

Lot 3, Block A,
Dexter Commercial Corner,
Maize, Sedgwick County, Kansas

and

WHEREAS, the plat of the aforesaid Dexter Commercial Corner contains provisions for access control along W 53rd St N, as recommended by the City of Maize Engineering Department; and

WHEREAS, as a platting requirement of the City of Maize Planning Commission, the Declarant hereby agrees to execute, in the future, a joint access easement agreement for the benefit of said Lot 3, Block A, Dexter Corner Commercial, and the property immediately adjacent to the west, as set forth on the plat and as provided for herein.

NOW, THEREFORE, Declarant hereby declares the following:

1. The Declarant acknowledges its willingness to enter into a joint access easement agreement, creating access rights with the owner of the property immediately adjacent to the west ("Adjacent Property") of Lot 3, Block A, Dexter Commercial Corner, at some future date if said adjacent owner desires to enter into a joint access easement agreement.
2. The Declarant hereby acknowledges its willingness to grant a joint access easement agreement over the west property line of said Dexter Commercial Corner, as set forth on the plat.

Restrictive Covenant for
Future Joint Access Easement Agreement
Page 2

3. The Declarant further acknowledges that this joint access easement agreement is contingent upon the development of the Adjacent Property as a commercial development. Should the Adjacent Property be developed for any use other than commercial, this Covenant shall not be effective and will be null and void.

Any joint access easement agreement entered into shall contain provisions regarding the allocation of the costs of constructing the initial joint access drive, modifications to such drive or parking lot (if already constructed), and maintenance costs.

This restrictive covenant shall be binding on the Declarant, its successors or assigns and is a covenant running with the land and is binding on all successors in title for the above-described real property located in Maize, Sedgwick County, Kansas.

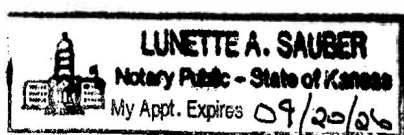
KTD MANAGEMENT LLC

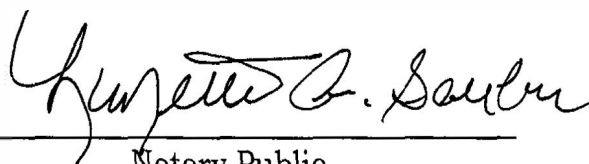
By: 
Katie Lucille Dexter, Sole Member

STATE OF KANSAS)
SEDGWICK COUNTY) SS:

BE IT REMEMBERED, that on this 9th day of December, 2022, before me, the undersigned, a Notary Public, in and for the County and State aforesaid, came Katie Lucille Dexter, Sole Member of KTD Management LLC, a Kansas Limited Liability Company, personally known to me to be the same person(s) who executed the within instrument of writing and such person(s) duly acknowledged the execution of the same, for and on behalf of the Limited Liability Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal the day and year above written.




Notary Public

My Appointment Expires: 09/20/2026



Sedgwick County
Register of Deeds - Tonya Buckingham
Doc.#/Flm-Pg: 30215711
Receipt #: 2363881
Pages Recorded: 4

WEIGAND

AUCTION
Recording Fee: \$72.00

Cashier: vbunch
Authorized By: *Tonya Buckingham*
Date Recorded: 01/12/2023 12:47:44 PM



GRANT OF JOINT ACCESS EASEMENT

WHEREAS, KTD Management LLC, a Kansas Limited Liability Company,
is the owner of the real property hereinafter described:

Lots 1, 2, and 3, Block A,
Dexter Commercial Corner,
Maize, Sedgwick County, Kansas

and

WHEREAS, it is determined that it is in the best interests of the parties
and their successors and assigns that a certain common easement, as
hereinafter described, be established and conveyed for the use and benefit of all
the parties hereto, their successors, assigns, and licensees.

NOW, THEREFORE, be it known that the undersigned does hereby grant
and convey for itself, its successors, grantees, licensees and assignees in
interest, the right to use for ingress and egress, the joint access easement as is
hereinafter set forth.

Joint access easement for ingress and egress to Lot 1, Block A, Dexter
Corner Commercial, Maize, Sedgwick County, Kansas, from N Maize Rd, over
and across the following real estate:

Beginning at the northeast corner of Lot 1, Block A, Dexter
Commercial Corner, Maize, Sedgwick County, Kansas; thence
S01°25'44"E coincident with the east line of said Lot 1, 30.02 feet
to a point 30.00 feet normally distant south of the north line of
said Lot 1; thence S86°16'14"W parallel with the north line of said
Lot 1, 52.04 feet to a point 50.00 feet normally distant west of the
east line of said Lot 1; thence N01°25'44"W parallel with the east
line of said Lot 1, 30.02 feet to a point on the north line of said Lot
1; thence N86°16'14"E coincident with the north line of said Lot 1,
52.04 feet to the point of beginning.

and

Joint access easement for ingress and egress to Lots 1 and 2, Block A, Dexter Corner Commercial, Maize, Sedgwick County, Kansas, from W 53rd St N, over and across the following real estate:

Beginning at the most southerly corner common to Lots 1 and 2, Block A, Dexter Commercial Corner, Maize, Sedgwick County, Kansas; thence S86°16'14"W coincident with the south line of said Lot 2, 20.02 feet to a point 20.00 feet normally distant west of the lot line common to said Lots 1 and 2; thence N01°25'30"W parallel with said common lot line, 52.04 feet to a point 52.00 feet normally distant north of the south line of said Lot 2; thence N86°16'14"E parallel with the south line of said Lot 2, 20.02 feet to a point on said common lot line; thence continuing N86°16'14"E into said Lot 1 and parallel with the south line of said Lot 1, 20.02 feet to a point 20.00 feet normally distant east of said common lot line; thence S01°25'30"E parallel with said common lot line, 52.04 feet to a point on the south line of said Lot 1; thence S86°16'14"W coincident with the south line of said Lot 1, 20.02 feet to the point of beginning.

and

Joint access easement for ingress and egress to Lots 2 and 3, Block A, Dexter Corner Commercial, Maize, Sedgwick County, Kansas, from W 53rd St N, over and across the following real estate:

Beginning at the most southerly corner common to Lots 2 and 3, Block A, Dexter Commercial Corner, Maize, Sedgwick County, Kansas; thence S86°16'14"W coincident with the south line of said Lot 3, 15.01 feet to a point 15.00 feet normally distant west of the lot line common to said Lots 2 and 3; thence N01°25'30"W parallel with said common lot line, 52.04 feet to a point 52.00 feet normally distant north of the south line of said Lot 3; thence N86°16'14"E parallel with the south line of said Lot 3, 15.01 feet to a point on said common lot line; thence continuing N86°16'14"E into said Lot 2 and parallel with the south line of said Lot 2, 15.01 feet to a point 15.00 feet normally distant east of said common lot line; thence S01°25'30"E parallel with said common lot line, 52.04 feet to a point on the south line of said Lot 2; thence S86°16'14"W coincident with the south line of said Lot 2, 15.01 feet to the point of beginning.

It is agreed that such easement shall be a perpetual easement until and unless amended, revoked, or released by all of the parties in interest or their successors or assigns and that the same shall be a covenant running with the land and shall be binding upon the grantors herein, their grantees, their heirs, assigns, licensees, successors, and assignees in interest.

It is further contracted and covenanted that such easement shall be for driveway, ingress, and egress purposes and such easement shall not be used for parking purposes or utilized in any manner so as to impede or inconvenience the use of such easement for the purposes herein set forth. Maintenance of said easements shall be in the mutual interests and responsibilities to all parties' interest and their successors, heirs, and/or assigns.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

In testimony whereof the undersigned has set their hands this 9th
day of December, 2022.

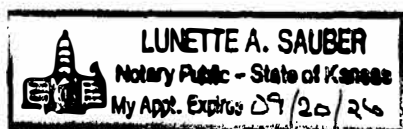
KTD MANAGEMENT LLC

By: [Signature]
Katie Lucille Dexter, Sole Member

STATE OF KANSAS)
SEDGWICK COUNTY) SS:

BE IT REMEMBERED, that on this 9th day of December
2022, before me, the undersigned, a Notary Public, in and for the County and
State aforesaid, came Katie Lucille Dexter, Sole Member of KTD Management
LLC, a Kansas Limited Liability Company, personally known to me to be the
same person(s) who executed the within instrument of writing and such
person(s) duly acknowledged the execution of the same, for and on behalf of the
Limited Liability Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my
official seal the day and year above written.



[Signature]
Notary Public

My Appointment Expires: 09/20/26



Commitment Cover Page

Order Number: **3117257**

Delivery Date: **02/25/2025**

Property Address: **5401 N. Maize Rd., Maize, KS 67101, No Situs Address, Maize, KS 67101, No Situs Address, Wichita, KS 67101**

For Closing Assistance

Kelsey McCann
727 N Waco Ave
Ste 300
Wichita, KS 67203
Office: (316) 267-8371
kmccann@security1st.com

Whitney Billups
727 N Waco Ave
Ste 300
Wichita, KS 67203
Office: (316) 267-8371
wbillups@security1st.com

For Title Assistance

Joey Landes
727 N Waco Ave, Ste 300
Wichita, KS 67203
Office: (316) 779-1942
jlandes@security1st.com

Agent for Seller

J.P. Weigand & Sons, Inc. - Market St.
Attention: Taylor Hake
150 N. Market
Wichita, KS 67202
(316) 292-3970 (Work)
thake@weigand.com
Delivered via: Electronic Mail

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Title Fee Invoice

Date:	02/25/2025	Buyer(s):	A Legal Entity, to be determined
Order No.:	3117257	Seller(s):	KTD Management LLC, a Kansas limited liability company
Issuing Office:	Kelsey McCann Security 1st Title 727 N Waco Ave, Ste 300 Wichita, KS 67203	Property Address:	5401 N. Maize Rd., Maize, KS 67101, No Situs Address, Maize, KS 67101, No Situs Address, Wichita, KS 67101

Title Insurance Fees	
ALTA Owner's Policy 07-01-2021 (\$1,000.00)	\$545.00
	Total \$545.00
If Security 1st Title will be closing this transaction, the fees listed above will be collected at closing. Otherwise, please remit payment to the issuing office above.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Vesting Documents:

[Sedgwick county recorded 03/23/2022 under reception no. 30149123](#)

Plat Map(s):

[Sedgwick county recorded 01/05/2023 under reception no. PC_307-9](#)

Tax Information:

[30021901](#), [30021902](#), [30021900](#)

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First American Title™

WEIGAND
AUCTION

Commitment for Title Insurance
Kansas - 2021 v. 01.00 (07-01-2021)

ALTA COMMITMENT FOR TITLE INSURANCE

issued by
First American Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, FIRST AMERICAN TITLE INSURANCE COMPANY, a California Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

FIRST AMERICAN TITLE INSURANCE COMPANY

By: 
Kenneth D. DeGiorgio, President

By: 
Lisa W. Cornehl, Secretary

Issuing Agent: Security 1st Title, LLC



Security 1st Title

Joey Landes
727 N Waco Ave, Ste 300
Wichita, KS 67203
(316) 779-1942 (Work)
(316) 267-8115 (Work Fax)
jlandes@security1st.com

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First American Title™

WEIGAND
AUCTION

Commitment for Title Insurance
Kansas - 2021 v. 01.00 (07-01-2021)

Transaction Identification Data for reference only:

Issuing Agent:	Security 1st Title, LLC	Buyer:	A Legal Entity, to be determined
Issuing Office:	727 N Waco Ave, Ste 300 Wichita, KS 67203	Title Contact:	Joey Landes 727 N Waco Ave, Ste 300 Wichita, KS 67203 (316) 779-1942 (Work) (316) 267-8115 (Work Fax) jlandes@security1st.com
ALTA Universal ID:	1010831		
Loan ID Number:			
Commitment No.:	C-JL3117257-KM		
Property Address:	5401 N. Maize Rd., Maize, KS 67101, No Situs Address, Maize, KS 67101, No Situs Address, Wichita, KS 67101		

SCHEDULE A

1. Commitment Date:

02/03/2025 at 7:00 AM

2. Policy to be issued:

ALTA Owner's Policy 07-01-2021

\$1,000.00

Proposed Insured: A Legal Entity, to be determined

The estate or interest to be insured: Fee Simple

3. The estate or interest in the Land at the Commitment Date is:

Fee Simple

4. The Title is, at the Commitment Date, vested in:

KTD Management LLC, a Kansas limited liability company

5. The Land is described as follows:

Lots 1, 2 and 3, Block A, Dexter Commercial Corner Addition, Sedgwick County, Kansas.

Security 1st Title

By: _____

David Armagost, President

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**SCHEDULE B, PART I - Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, and recorded in the Public Records.
5. **We require all general taxes and special assessments for the current year, and all previous years, to be paid in full or as otherwise agreed to by the parties. County tax information is hyperlinked on the Cover Page of this Commitment. General taxes and special assessments for the Land are currently taxed as follows, subject to interest and penalties:**

Tax Year: 2024

Full Amount: \$3,978.88, Half Paid

Tax Parcel Number: 30021900 / PK-MA-03874 (Lot 1)

Tax Year: 2024

Full Amount: \$133.34, Half Paid

Tax Parcel Number: 30021901 / PK-MA-03875 (Lot 2)

Tax Year: 2024

Full Amount: \$0.42, Paid

Tax Parcel Number: 30021902 / PK-MA-03876 (Lot 3)

6. File a release of Mortgage dated March 11, 2022, recorded March 23, 2022, as Doc#/Flm-Pg: [30149124](#), made by KTD Management LLC, to The Halstead Bank, in the amount of \$424,000.00.
7. File a release of Mortgage dated March 09, 2023, recorded March 10, 2023, as Doc#/Flm-Pg: [30224780](#), made by KTD Management LLC, to The Halstead Bank, in the amount of \$82,000.00.
8. File a release of Mortgage dated July 14, 2023, recorded July 18, 2023, as Doc#/Flm-Pg: [30251501](#), made by KTD Management LLC, to Bank Five Nine, a Wisconsin banking corporation, in the amount of \$1,540,000.00.
9. We have a copy of the Articles of Organization dated January 06, 2017 and a copy of the Operating Agreement dated January 01, 2017 of KTD Management LLC, a limited liability company. We must be furnished with a copy of any amendments to said documents. We reserve the right to make any additional requirements we deem necessary.

Any instrument to be executed by KTD Management LLC, LLC must:

1. Be executed in the limited liability company name, and
 2. Be signed by Katie L. Dexter, Managing Member.
10. Provide this company with a properly completed and executed Owner's Affidavit.
 11. File a Warranty Deed from KTD Management LLC, a Kansas limited liability company to A Legal Entity, to be determined.

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12. Recording Information for Kansas Counties:

Deed: \$21.00 (first page) + \$17.00 (each additional page)
Mortgage: \$21.00 (first page) + \$17.00 (each additional page)
Mortgage Release: \$20.00 (first page) + \$4.00 (each additional page)
Mortgage Assignment: \$20.00 (first page) + \$4.00 (each additional page)

The above fees do not include all documents that may be filed in each county. Some fees may vary. For a full list of recording fees, services and format requirements, please contact the Register of Deeds Office for the specific county in question.

NOTE: The State of Kansas requires that any deed transferring real estate must be accompanied by a Real Estate Validation Questionnaire. This form must be executed by either the Grantor (Seller) or the Grantee (Buyer). Certain exemptions do apply. The official form can be obtained from the Register of Deeds or from Security 1st Title. Photocopies of the official form will not be accepted.

NOTE: For documents electronically recorded. There is an additional third-party service fee of \$5.00 per document, which is in addition to the County recording fees.

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**SCHEDULE B, PART II—Exceptions**

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Rights or claims of parties in possession not shown by the Public Records.
3. Easements, or claims of easements, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation or adverse circumstances affecting Title that would be disclosed by an accurate and complete survey of the Land or that could be ascertained by an inspection of the Land.
5. Any lien, or right to lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records at Date of Policy.
6. Taxes, or special assessments, if any, not shown as existing liens by the Public Records.
7. **General taxes and special assessments for the year 2025, and subsequent years, none now due and payable.**

NOTE: We reserve the right to amend the above exception if any taxes remain due and payable, but not delinquent, for the current tax year.

8. **The following matters shown on or disclosed by the recorded plat referred to in the legal description: easements, minimum building pad elevations, access controls and drainage plan and reserve restrictions.**
9. **Legal effects and consequences of the following recitals shown on the recorded plat of said subdivision:**
All Building Setbacks and other Requirements per Dexter Commercial Corner Community Unit Plan CUP-02 on file at the City Hall of Maize, Kansas.
No building permits are to be issued for Lots 1, 2, and 3, Block A, within Dexter Commercial Corner unless a Letter of Map Revision from the Federal Emergency Management Agency is on file with the City of Maize, Kansas.
10. **Subject property may become subject to special assessments for various capital improvements as evidenced by numerous governmental filings of notice in the form of a Resolution filed on Film 1081, Page [1479](#).**
11. **The terms and provisions contained in the document entitled "Restrictive Covenant for Future Joint Access Easement Agreement" filed as January 12, 2023 as Doc#/Flm-Pg: [30215710](#).**
12. **The terms and provisions contained in the document entitled "Grant of Joint Access Easement" filed as January 12, 2023 as Doc#/Flm-Pg: [30215711](#).**
13. **Rights or claims of parties in possession not shown by the public records.**

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14. A mortgage to secure an original principal indebtedness of \$424,000.00 and any other amounts or obligations secured thereby, dated March 11, 2022 recorded March 23, 2022, as Doc#/Flm-Pg: [30149124](#)
Mortgagor: KTD Management LLC
Mortgagee: The Halstead Bank
15. A mortgage to secure an original principal indebtedness of \$82,000.00 and any other amounts or obligations secured thereby, dated March 09, 2023, recorded March 10, 2023, as Doc#/Flm-Pg: [30225780](#).
Mortgagor: KTD Management LLC
Mortgagee: The Halstead Bank
16. A mortgage to secure an original principal indebtedness of \$1,540,000.00 and any other amounts or obligations secured thereby, dated July 14, 2023, recorded July 18, 2023, as Doc#/Flm-Pg: [30251501](#).
Mortgagor: KTD Management LLC, a Kansas limited liability company
Mortgagee: Bank Five Nine, a Wisconsin banking corporation

The actual value of the estate or interest to be insured must be disclosed to the Company, and subject to approval by the Company, entered as the amount of the policy to be issued. It is agreed that, as between the Company, the applicant for this commitment, and every person relying on this commitment, the amount of the requested policy will be assumed to be \$1,000.00, and the total liability of the Company on account of this commitment shall not exceed that amount, until such time as the actual amount of the policy to be issued shall have been agreed upon and entered as aforesaid, and the Company's applicable insurance premium charge for same shall have been paid.

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**COMMITMENT CONDITIONS****1. DEFINITIONS**

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
 - b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
 - c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
 - d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
 - e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
 - f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
 - g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
 - h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
 - i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
 - j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.
2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.
 3. The Company's liability and obligation is limited by and this Commitment is not valid without:
 - a. the Notice;
 - b. the Commitment to Issue Policy;
 - c. the Commitment Conditions;
 - d. Schedule A;
 - e. Schedule B, Part I—Requirements; and
 - f. Schedule B, Part II—Exceptions.
 4. **COMPANY'S RIGHT TO AMEND**
The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to

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this Commitment.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE

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TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

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Privacy Notice

Last Updated and Effective Date: December 1, 2024

First American Financial Corporation and its subsidiaries and affiliates (collectively, “First American,” “we,” “us,” or “our”) describe in our full privacy notice (“Notice”), which can be found at <https://www.firstam.com/privacy-policy/>, how we collect, use, store, sell or share your personal information when: (1) you access or use our websites, mobile applications, web-based applications, or other digital platforms where the Notice is posted (“Sites”); (2) you use our products and services (“Services”); (3) you communicate with us in any manner, including by e-mail, in-person, telephone, or other communication method (“Communications”); (4) we obtain your information from third parties, including service providers, business partners, and governmental departments and agencies (“Third Parties”); and (5) you interact with us to conduct business dealings, such as the personal information we obtain from business partners and service providers and contractors who provide us certain business services (“B2B”). This shortened form of the Notice describes some of the terms contained in the full Privacy Notice. Personal information is sometimes also referred to as personal data, personally identifiable information or other like terms to mean any information that directly or indirectly identifies you or is reasonably capable of being associated with you or your household. However, certain types of information are not personal information and thus, not within the scope of our Notice, such as: (1) publicly available information; and (2) de-identified and aggregated data that is not capable of identifying you. If we use de-identified or aggregated data, we commit to maintain and use the information in a nonidentifiable form and not attempt to reidentify the information, unless required or permitted by law.

This Notice applies wherever it is posted. To the extent a First American subsidiary or affiliate has different privacy practices, such entity shall have their own privacy statement posted as applicable.

Please note that this Notice does not apply to any information we collect from job candidates and employees. Our employee and job candidate privacy notice can be found [here](#).

What Type Of Personal Information Do We Collect About You? We collect a variety of categories of personal information about you. To learn more about the categories of personal information we collect, please visit <https://www.firstam.com/privacy-policy/>.

How Do We Collect Your Personal Information? We collect your personal information: (1) directly from you; (2) automatically when you interact with us; and (3) from other parties, including business parties and affiliates.

How Do We Use Your Personal Information? We may use your personal information in a variety of ways, including but not limited to providing the services you have requested, fulfilling your transactions, complying with relevant laws and our policies, and handling a claim. To learn more about how we may use your personal information, please visit <https://www.firstam.com/privacy-policy/>.

How Do We Disclose Your Personal Information? We may disclose your personal information, including to subsidiaries, affiliates, and to unaffiliated parties, such as service providers and contractors: (1) with your consent; (2) in a business transfer; and (3) for legal process and protection. Although we do not “sell” your information in the traditional sense, the definition of “sale” is broad under the CCPA that some disclosures of your information to third parties may be considered a “sale” or “sharing” for targeted advertising. To learn more about how we disclose your personal information, please visit <https://www.firstam.com/privacy-policy/>.

How Do We Store and Protect Your Personal Information? The security of your personal information is important to us. We take all commercially reasonable steps to make sure your personal information is protected. We use our best efforts to maintain commercially reasonable technical, organizational, and physical safeguards, consistent with applicable law, to protect your personal information.

How Long Do We Keep Your Personal Information? We keep your personal information for as long as necessary in accordance with the purpose for which it was collected, our business needs, and our legal and regulatory obligations.

Your Choices We provide you the ability to exercise certain controls and choices regarding our collection, use, storage, and disclosure of your personal information. You can learn more about your choices by visiting <https://www.firstam.com/privacy-policy/>.

International Jurisdictions: Our Services are offered in the United States of America (US), and are subject to US federal, state, and local law. If you are accessing the Services from another country, please be advised that you may be transferring your information to us in the US, and you consent to that transfer and use of your information in accordance with the Notice. You also agree to abide by the applicable laws of applicable US federal, state, and local laws concerning your use of the Services, and your agreements with us.

Changes to Our Notice We may change the Notice from time to time. Any and all changes to the Notice will be reflected on this page and in the full Notice, and where appropriate provided in person or by another electronic method.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions

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YOUR CONTINUED USE, ACCESS, OR INTERACTION WITH OUR SERVICES OR YOUR CONTINUED COMMUNICATIONS WITH US AFTER THIS NOTICE HAS BEEN PROVIDED TO YOU WILL REPRESENT THAT YOU HAVE READ AND UNDERSTOOD THE NOTICE.

For California Residents If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act of 2018, as amended by the California Privacy Rights Act and its implementing regulations ("CCPA"). To learn more, please visit <https://www.firstam.com/privacy-policy/>.

Contact Us: dataprivacy@firstam.com or toll free at 1-866-718-0097.

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PRIVACY POLICY

WHAT DOES SECURITY 1ST TITLE DO WITH YOUR PERSONAL INFORMATION?

Federal and applicable state law and regulations give consumers the right to limit some but not all sharing. Federal and applicable state law regulations also require us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand how we use your personal information. This privacy notice is distributed on behalf of Security 1st Title, LLC, pursuant to Title V of the Gramm-Leach-Bliley Act (GLBA).

The types of personal information we collect and share depend on the product or service that you have sought through us. This information can include social security numbers and driver's license number.

All financial companies, such as Security 1st Title, need to share customers' personal information to run their everyday business—to process transactions and maintain customer accounts. In the section below, we list the reasons that we can share customers' personal information; the reasons that we choose to share; and whether you can limit this sharing.

Reasons we can share your personal information	Do we share?	Can you limit this sharing?
For our everyday business purposes —to process your transactions and maintain your account. This may include running the business and managing customer accounts, such as processing transactions, mailing, and auditing services, and responding to court orders and legal investigations.	Yes	No
For our marketing purposes —to offer our products and services to you.	Yes	No
For joint marketing with other financial companies	No	We don't share
For our affiliates' everyday business purposes —information about your transactions and experiences. Affiliates are companies related by common ownership or control. They can be financial and nonfinancial companies.	Yes	No
For our affiliates' everyday business purposes —information about your creditworthiness.	No	We don't share
For our affiliates to market to you	Yes	No
For nonaffiliates to market to you. Nonaffiliates are companies not related by common ownership or control. They can be financial and nonfinancial companies.	No	We don't share

We may disclose your personal information to our affiliates or to nonaffiliates as permitted by law. If you request a transaction with a nonaffiliate, such as a third party insurance company, we will disclose your personal information to that nonaffiliate. (We do not control their subsequent use of information, and suggest you refer to their privacy notices.)

Sharing practices	
How often does Security 1st Title notify me about their practices?	We must notify you about our sharing practices when you request a transaction.
How does Security 1st Title protect my personal information?	To protect your personal information from unauthorized access and use, we use security measures that comply with federal and state law. These measures include computer, file, and building safeguards.
How does Security 1st Title collect my personal information?	<p>We collect your personal information, for example, when you</p> <ul style="list-style-type: none"> • request insurance-related services • provide such information to us <p>We also collect your personal information from others, such as the real estate agent or lender involved in your transaction, credit reporting agencies, affiliates or other companies.</p>
What sharing can I limit?	Although federal and state law give you the right to limit sharing (e.g., opt out) in certain instances, we do not share your personal information in those instances.
Contact Us	If you have any questions about this privacy notice, please contact us at: Security 1st Title, 727 N. Waco, Suite 300, Wichita, KS 67203

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Sedgwick County
Register of Deeds - Tonya Buckingham

Doc.#/Flm-Pg: 30214304

Receipt #: 2362999
Pages Recorded: 1

Recording Fee: \$32.00

Cashier: KVENATOR

Authorized By: *Tonya Buckingham*

Date Recorded: 01/05/2023 12:29:29 PM



PLAT.

Document # 30214304

1/5/2023

GTOR: KTD Management
LLC

GTEE: Dexter Commercial
Corner Addition to Maize

54-387-0



Lease Information

Date: March 10, 2025

House and shop on Lot 1 currently have month-to-month leases agreements in place. Leases available upon request.

Weigand Auction
Broker Registration Form



J.P. Weigand & Sons, Inc.
150 N. Market
Wichita, KS 67202
(316) 262-3970
Email: khowell@weigand.com
CC: thake@weigand.com

Brokerage Company Name: _____
Brokerage License Number: _____ Telephone Number: _____
Address: _____
City: _____ State: _____ Zip: _____
Real Estate Agent's Name: _____
Real Estate Agent's License Number: _____ State: _____
Real Estate Agent's Email: _____
Buyer's Broker/Licensee, if applicable, is functioning as:

☐ Agent of the Buyer

☐ Transaction Broker

☐ Designated Buyer's Agent*

*Supervising Broker acts as a Transaction Broker

Auction Property/Location: 5401 N Maize Road - LOT 1 ☐ LOT 2 ☐ LOT 3 ☐

Auction Date: April 8th, 2025

Print Name of Company / Buying Entity (If Applicable)

Print Name of Individual Bidder

(Company, Joint Venture, Trustee Name(s)):

(individual, signing on behalf of buying entity):

Broker Participation Fee

To qualify for the three percent (3%) Broker Participation Fee, the real estate broker's properly registered buyer must be the high bidder, as well as purchase and close on the auction property registered above. The broker must hold an active real estate license in the State of Kansas and be legally eligible to participate, with no restrictions or prohibitions under the law.

In the case of multiple registrations of the same buyer by different brokers, the first registration received by J.P. Weigand & Sons, Inc. will be recognized. The broker may submit only one Broker Registration Form per auction and with only one buyer. The broker must attend live auctions with the buyer. If the broker has not met all the requirements, no Broker Participation Fee will be paid, even if its buyer purchases the property.

Broker and buyer(s) acknowledge and agree that seller and auctioneer have not made and hereby specifically disclaims any warranty, guarantees or representation, oral or written, past, present or future of, as, to, or concerning, (i) the nature, square footage, condition, value, or quality of property, including but not by way of limitation, the water, soil, & geology and suitability of the property for any and all activities & uses the buyer may elect to conduct thereon. Broker and buyer(s) each hereby agree to indemnify and hold harmless the auctioneer from and against any and all claims with respect to this transaction. This indemnification agreement of the properties shall survive the closing.

By signing below, we certify that we have both read the above terms and conditions of this registration, the terms and conditions of the auction brochure and due diligence package (if any), and agree to defend and hold J.P. Weigand & Sons, Inc. and seller harmless if there is a claim by any other broker with this buyer.

Broker Registration Form must be received by J.P. Weigand & Sons, Inc. before buyer's first bid.

Real Estate Agent

Buyer

By: _____

By: _____

Date: _____

Date: _____

Received and Acknowledged by J.P. Weigand & Sons, Inc.

By: _____

Date/Time: ⁷³_____